

Design Review Report – Item 1

Local government:	City of Stirling	
Item no.:	Item 1 – DA23/1563 – 499 Alexander Drive, Mirrabooka – Development Assessment Panel – Form 1 – Warehouse, Showrooms and Drive Through Fast Food Outlet	
Acting Chairperson:	Philip Gresley	
Panel members:	Tony Blackwell (remotely) Lisa Shine Wayne Dufty	
Local government officers:	Peter Prendergast Dean Williams Karina Bowater Michael Italiano Simone Palmer	Service Lead Planning Coordinator Planning Senior Planning Officer Senior Planning Officer DRP Support Officer
Observers	Anthony Petrovski	Planning Officer
Date:	28 March 2024	Time: 2pm
Venue:	City of Stirling – Challenger Room	

Proponent/s		
	Kate Bainbridge Matthew Filov Peter Hillman Sam Austen Peta Byram Terry McCoy Aaron Brown Richard Honey	Urbis (Applicant) Urbis Urbis - Landscaping Watson Young Architects Woolworths (remotely) Woolworths (remotely) Watson Young Architects Watson Young Architects
	Owners	Fabcot Pty Limited
Observer/s		

Briefings		
Development assessment overview	Karina Bowater	Senior Planning Officer
Technical issues	Karina Bowater	Senior Planning Officer
Design Review		
Proposed development	Item 1 – DA23/1563 – 499 Alexander Drive, Mirrabooka – Development Assessment Panel – Form 1 - Warehouse, Showrooms and Drive Through Fast Food Outlet	
Property address	499 Alexander Drive, Mirrabooka	
Background		
Proposal		

Applicant or applicant's representative address to the design review panel	Terry McCoy Kate Bainbridge Peter Hillman Sam Austen	Watson Young Architecture Urbis Urbis Watson Young Architecture
Key issues / recommendations	The Panel thanked the Applicant for addressing commentary from DRP1 and improving the design proposal including better landscaping, improved outdoor amenity for staff members, the intent to adopt water sensitive urban design across the site plus the commitment to the certified 5 Star GreenStar v1.1. The Panel however made comments and raised concerns around a variety of design matters which include the detail of the external spaces design such as species selection (especially trees), fencing design, the opportunity for screening treatment to the transformer, and the detailed strategy for water sensitive urban design. There are lingering concerns about the quality of the buildings and sees opportunity for improvement around aesthetics and re-considering how public art might be delivered. The Panel recommends a third review. Refer to attached Design Quality Evaluation Report.	
Chairperson signature		

Design quality evaluation Item 1 – DA23/1563 – 499 Alexander Drive, Mirrabooka – Development Assessment Panel – Form 1 - Warehouse, Showrooms and Drive Through Fast Food Outlet DRP Meeting – Thursday 28 March 2024		
	S	<i>Design Principle satisfied</i>
	P	<i>Design Principle pending further attention</i>
	N	<i>Design Principle not satisfied</i>
Principle 1 Context and character		<i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>
	P	1a. It was recommended that tall trees are considered to mitigate the scale of the large built form with the adjacent existing Banksia woodland. 1b. The “public” art is encouraged to explore the connection to site and its context. However, the Panel believes a more sophisticated approach will drive a more meaningful response. 1c. The introduction of some architectural language on this project is welcomed. This is evident in the angled northern canopy which creates character. The project may benefit from some consideration on how this might touch ground and or be extended around the corner to interface with the customer pickup canopy.
Principle 2 Landscape quality		<i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i>
	P	2a. The Panel acknowledged the Applicant has made attempts to improve the landscaping and water sensitive design however there is opportunity to further improve this significant component of the project. 2b. Confirmation is sought from the Panel that the City’s required amount of landscaping for this site, including % site coverage and deep soil are in fact being met. The Applicant should liaise with the City’s officers to confirm. 2c. The Applicant was encouraged to further refine the water sensitive urban design. The Panel expressed concerns that information provided was limited and the strategy over a very large area might better be rationalized into a series of smaller treatment areas. Further detail and clarification should be provided around to demonstrate how this will be successfully deployed. 2d. The Panel stated the plant palette is small and inadequate to deliver and appropriate outcome or the outcomes described in the project intent. Some concern about potential dieback infection in the selected species was also expressed. The plant palette did not seem to be correctly represented in the presented illustrative renders. 2e. In DRP1 the Panel previously suggested planting large trees in the larger spaces and to attempt to have the canopies touching as they mature. The tree species chosen are not appropriate to obtain this outcome as they are small and provide too little shade. 2f. The Panel commented that a successful outcome must ensure as many trees as possible are included in the carparks and any other areas where landscape is possible. Providing correct well sizes is critical to ensuring trees can thrive and provide shade to the expansive areas of bitumen and concrete that are proposed. 2g. It was suggested if it is not possible to plant trees in the western van parking area a shade structure could be added to improve amenity and reduce heat island effect. 2h. It was recommended that tall trees are considered to mitigate the scale of the large built form with the adjacent existing Banksia woodland. Tall trees also have the benefit of being able to be under-pruned to enhance access to signage. 2i. There is a significant over-supply of carparking in the project and this is an opportunity to reduce to provide additional landscaping. 2j. The Panel queried if the width of the one-way truck exit on the northwestern corner of the site could be reduced to allow for additional planting.

		2k. Comment was made the added public green space and the carpark being more organic is an improvement.
Principle 3 Built form and scale		<i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i>
	S	3a. The scale of the development is broadly supported by the Panel. 3b. Comment was made by the Panel it was beneficial to gain an understanding around the future and long term strategy around conversion to autonomous warehousing around 2030.
Principle 4 Functionality and build quality		<i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i>
	S	4a. The Panel supports this design principle based on the information presented in the meeting.
Principle 5 Sustainability		<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i>
	S	5a. The Panel commended the Applicant on the certified 5 Star GreenStar Buildings v1.1 commitment and stated this is an excellent result and will flow through to many areas of the design. 5b. This design principle is supported by the Panel.
Principle 6 Amenity		<i>Good design optimises internal and external amenity for occupants, visitors and neighbours providing environments that are comfortable, productive and healthy.</i>
	P	6a. The Panel stated the pedestrian movement experience requires further work. 6b. There have been improvements in the provisions of amenity for staff with the shaded external space. There is room for improvement to continue to bring a more human scale to this area by the inclusion of trees, more articulated, transparent & higher quality fencing, and good quality urban furniture. This will offer a more appealing experience for staff including enjoyable spaces to sit and have lunch breaks. 6c. The Panel encouraged the Applicant to improve permeability of the fencing to improve visual amenity of the site. It is understood it is essential to balance this with the security of the site, but the Panel queried the need for 2.1m high fencing.
Principle 7 Legibility		<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i>
	S	7a. The Panel is satisfied with the legibility of the proposal noting the aesthetic impact of pylon signage to the street that does not form part of this review.
Principle 8 Safety		<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
	S	8a. The Panel is generally satisfied with the response to safety noting that the visual impact of perimeter fencing to the CFC still requires refinement to ensure good visual amenity. 8b. The Panel noted the movement between the two fast food outlets may pose a safety concern and encourage to Applicant to consider pedestrian safety when moving from this site to the neighbouring site.
Principle 9 Community		<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>

	P	9a. It was stated by the Panel the Applicants' approach to "public" art could benefit from additional sophistication to deliver a more meaningful outcome and look less like a decorative wallpaper. 9b. Recommendation was made by the Panel to consider access to public amenities for customers picking up groceries. 9c. The suggestion was made by the Panel to integrate some seating throughout the development to provide areas to sit or pause.
Principle 10 Aesthetics		<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>
	P	10a. The Panel stated there is an opportunity to apply more depth in relation to the façade and the public art. 10b. Comment was made by the Panel the transformer is too prominent and has significant presence at the entrance. The Applicant was encouraged to focus on improved the screening of this and consider ways to enhance the entrance experience. 10c. It was mentioned by the Panel the signage is subject to a separate approval. It was mentioned it is dominant and bordering on excessive and could be seen as being overscaled. 10d. Comment was made the Alexander Drive frontage is supported and has good articulation and use of materials. It is an improvement to see some of this expressed in the tenancies. 10e. The Panel recommended that additional design work be undertaken to refine the pick-up canopy to improve wayfinding and better describe this as the customer focal point. 10f. It was suggested by the Panel to interrogate the durability of the materials which are used throughout this development. 10g. The fencing information in relation to the aesthetic impact of the perimeter fencing, noting that this has only been indicated on the plans, could have a significant impact on the overall design. 10h. There is an opportunity to better screen services on the Eastern elevation of the CFC, or to enhance their appearance.

Design Review progress Item 1 – DA23/1563 – 499 Alexander Drive, Mirrabooka – Development Assessment Panel – Form 1 - Warehouse, Showrooms and Drive Through Fast Food Outlet DRP Meeting – Thursday 28 March 2024				
	S	Design Principle satisfied		
	P	Design Principle pending further attention		
	N	Design Principle not satisfied		
		DR1 28/9/2023	DR2 28/3/2024	DR3
Principle 1 - Context and character			P	
Principle 2 - Landscape quality			P	
Principle 3 - Built form and scale			S	
Principle 4 - Functionality and build quality			S	
Principle 5 - Sustainability			S	
Principle 6 - Amenity			P	
Principle 7 - Legibility			S	
Principle 8 - Safety			S	
Principle 9 - Community			P	
Principle 10 - Aesthetics			P	

Recommendations Summary
Item 1 – DA23/1563 and PDA23/0076 – 499 Alexander Drive, Mirrabooka

DR1 – DRP Recommendations DRP Meeting – 28/9/2023	DR2 – Applicant Response DRP Meeting – 28/9/2023	DR2 DRP Recommendations DRP Meeting – 28/3/2024	DR2 – Applicant Response DRP Meeting – 28/3/2024
1a. The Panel commented on the brand identity being a major driver in the language of the built form. The Panel commented that this coupled with the new building type and adjacent bush forever zone creates an opportunity to display leadership through a sustainable design response. 1b. The Panel commented that further development is needed to expand on these opportunities so that they are evident across the site, strengthening the language of the Customer Fulfillment Centre and extending this to the tenancies co-located on the site.	1a. The proposal's sustainability vision has been developed further, with the commitment to green star increased from 4-Star to 5-Star, and various other sustainability initiatives developed as part of the Sustainable Design Report (refer Appendix E). 1b. The proposal has been updated to ensure that the architectural language of the built form is developed further to include earthier tones that draw inspiration from the surrounding bush forever site. The colours and material palette has been continued through to the other tenancies (showrooms and fast food outlet) to ensure consistency across the site.	1a. It was recommended that tall trees are considered to mitigate the scale of the large built form with the adjacent existing Banksia woodland. 1b. The “public” art is encouraged to explore the connection to site and its context. However, the Panel believes a more sophisticated approach will drive a more meaningful response. 1c. The introduction of some architectural language on this project is welcomed. This is evident in the angled northern canopy which creates character. The project may benefit from some consideration on how this might touch ground and or be extended around the corner to interface with the customer pickup canopy.	
2a. The Panel noted their disappointment if the existing trees have been removed from the site. It is imperative every effort is made to retain trees and incorporate these into the design. 2b. Comment was made by the Panel that there is an opportunity to connect this development to the bush forever zone through the landscape design, ensuring local species are specified. 2c. The Panel commented that a successful outcome must ensure as many trees as possible are located in the carparks and any other areas where landscape is possible. Providing correct well	2a. The design has been amended to retain the existing significant trees in the southeast corner of the subject site, which is now propped to be a public greenspace area. 2b. Noted – Local native landscape species have been proposed as part of the proposal as described within the landscape report provided at Appendix D. 2c. Noted – the proposal has employed an extensive landscape planting strategy, with particular focus placed on delivering landscaping within the carparking and footpath areas to maximise shade for site users	2a. The Panel acknowledged the Applicant has made attempts to improve the landscaping and water sensitive design however there is opportunity to further improve this significant component of the project. 2b. Confirmation is sought from the Panel that the City's required amount of landscaping for this site, including % site coverage and deep soil are in fact being met. The Applicant should liaise with the City's officers to confirm. 2c. The Applicant was encouraged to further refine the water sensitive urban design. The Panel expressed concerns that	

sizes is critical to ensuring trees can thrive and provide shade to the expansive areas of bitumen and concrete that are proposed. 2d. The Panel suggested planting large trees in the larger spaces and attempt to have the canopies touching as they mature. This will provide interesting scale changes.	and minimise urban heat island effect through natural vegetation. 2d. Noted – the proposal has adequately spaced the large trees around the lot boundary and wherever possible on site to ensure that canopies have significant room for growth	information provided was limited and the strategy over a very large area might better be rationalized into a series of smaller treatment areas. Further detail and clarification should be provided around to demonstrate how this will be successfully deployed. 2e. In DRP1 the Panel previously suggested planting large trees in the larger spaces and to attempt to have the canopies touching as they mature. The tree species chosen are not appropriate to obtain this outcome as they are small and provide too little shade. 2g. It was suggested if it is not possible to plant trees in the western van parking area a shade structure could be added to improve amenity and reduce heat island effect. 2h. It was recommended that tall trees are considered to mitigate the scale of the large built form with the adjacent existing Banksia woodland. Tall trees also have the benefit of being able to be under-pruned to enhance access to signage. 2i. There is a significant over-supply of carparking in the project and this is an opportunity to reduce to provide additional landscaping. 2j. The Panel queried if the width of the one-way truck exit on the northwestern corner of the site could be reduced to allow for additional planting.	
3b. Comment was made by the Panel the smaller tenancies towards the front of the road break down the scale however, the language of these should be developed to create cohesion across the site.	3b. Noted – the colours and materials have now been extended through to the showroom tenancies to ensure consistency in architectural features and tones throughout	3a. The scale of the development is broadly supported by the Panel. 3b. Comment was made by the Panel it was beneficial to gain an understanding around the future and long term strategy around	

	the site.	conversion to autonomous warehousing around 2030.	
5a. The Panel commented on the latent opportunity for the design to push sustainability to achieve a good outcome and to demonstrate leadership. The Panel do not support the current response, it is inadequate and lacks commitment. 5b. The Panel suggested applying further thought and creating a more water-sensitive design with careful consideration given to the extent of impervious materials. 5c. The Applicant was strongly encouraged to take full advantage of the large roof space of the development, installing as many photovoltaic cells as possible to generate energy. Further clarity and information is requested by the Panel in relation to the amount of energy that can be generated by the photo voltaic cells. 5d. The Panel suggested if no vegetation is possible in the western carpark an alternative could be a shade structure with integrated PV cells in this location, noting that other similar developments have employed this approach. 5e. It was stated by the Panel the choice of materials has a big impact on sustainability. In this development this is particularly relevant when considering concrete and hard surfaces. Several “green” concrete options are now available to the construction industry and should be investigated. There was some concern expressed in relation to possible glare from paler colours and the balance of this against the	5a. As highlighted in the Context and Character response above, the proposal’s sustainability vision has been developed further, with the commitment to green star increased from 4- Star to 5-Star, and various other sustainability initiatives developed as part of the Sustainable Design Report (refer Appendix E). 5b. The landscaping strategy for the site has been further progressed to employ water sensitive urban design planting in various areas across the project. 5c. The proposal has maximised the amount of PV Cell zones on the roof of the proposed CFC Warehouse, with the exact location and size to be confirmed through the building permit phase of the project. 5d. Vegetation through the provision of shrubbed garden beds and small shade trees are provided in all carparks of the site – the western carpark has less shade trees than others due to circulation requirements for vans and for deliveries at the loading bay. 5e. Due to the nature of the proposal and the extensive amount of vehicle movements (both light and heavy vehicles), the hardstand has been selected to ensure that there are minimal ‘wear and tear’ issues because of numerous daily vehicle movements – particularly in and around the proposed CFC Warehouse. To avoid significant and unsustainable amounts of	5b. This design principle is supported by the Panel.	

heat generated through the specification of darker colours.	future maintenance, heavy duty and high quality hardstand has been selected. 5f. Noted – the colours and materials selected seek to utilise earthy, light and neutral tones to assist in minimising the urban heat island effect. This palette has now been continued on through the showroom tenancies, with the previous darker colours now removed.		
6a. The Panel stated there is opportunity to provide improved staff amenity which will assist with staff retention. 6b. The Panel encouraged the Applicant to provide amenity and generosity to staff facilities in an outdoor environment. These spaces should have some greenery and be inviting spaces for staff to sit and have lunch breaks. 6c. Further information and clarity is requested by the Panel in relation to the tenancy toilets and the capacity for users of the Direct to Boot service to have access to public toilets.	6a. Noted – the proposal has developed a more extensive landscape strategy that now seeks to provide various outdoor gathering spaces with outdoor furniture and chairs to enable future employees and customers to sit, enjoy and have lunch breaks. 6c. Having ran several CFC Warehouse's on the east coast, it is Woolworth's experience that most customers will be ready to pick up their groceries in an efficient manner and not require access to toilets – however, should access to a toilet be required, Woolworths customers will be able to utilise the toilets with the office area, with on-site staff to provide access as needed.	6a. The Panel stated the pedestrian movement experience requires further work. 6b. There have been improvements in the provisions of amenity for staff with the shaded external space. There is room for improvement to continue to bring a more human scale to this area by the inclusion of trees, more articulated, transparent & higher quality fencing, and good quality urban furniture. This will offer a more appealing experience for staff including enjoyable spaces to sit and have lunch breaks. 6c. The Panel encouraged the Applicant to improve permeability of the fencing to improve visual amenity of the site. It is understood it is essential to balance this with the security of the site, but the Panel queried the need for 2.1m high fencing.	
8b. The Panel noted the movement between the two fast food outlets may pose a safety concern and encourage to Applicant to consider pedestrian safety when moving from this site to the neighbouring site.	8a. Noted – a variety of fencing is utilised around the perimeter of the CFC at the public facing interfaces, with feature fencing of various heights selected. 8b. Noted – the proposal has employed various pedestrian crossings adjoining the fast food outlet that provide direct	8a. The Panel is generally satisfied with the response to safety noting that the visual impact of perimeter fencing to the CFC still requires refinement to ensure good visual amenity. 8b. The Panel noted the movement between the two fast food outlets may pose a safety concern and	

	connections to the safely designed footpath network that is provided in and around the site.	encourage to Applicant to consider pedestrian safety when moving from this site to the neighbouring site.	
9a. The Panel commented that the proposal does not adequately provide spaces that encourage interaction for the community at any level. The Panel strongly suggested including pocket parks in the proposal to enhance the design and provide an improved community experience for both staff and users. 9b. The suggestion was made by the Panel to integrate some seating throughout the development to provide areas to sit or pause. 9c. Recommendation was made by the Panel to consider access to public amenities for customers picking up groceries.	9a. Noted – various pocket parks / outdoor gathering spaces have now been provided as part of the proposal to encourage interaction with the community, and an opportunity for future staff to utilise the spaces on their lunch breaks. 9b. Noted – seating areas and street furniture has been included within the proposal. 9c. Noted – please refer commentary under the Amenity section above.	9a. It was stated by the Panel the Applicants' approach to "public" art could benefit from additional sophistication to deliver a more meaningful outcome and look less like a decorative wallpaper. 9b. Recommendation was made by the Panel to consider access to public amenities for customers picking up groceries. 9c. The suggestion was made by the Panel to integrate some seating throughout the development to provide areas to sit or pause.	
10a. The Panel request further information in relation to the aesthetic impact of the perimeter fencing, noting that this has only been indicated on the plans and could have a significant impact on the overall design. 10b. It was stated by the Panel material and formal continuity between the CFC and the tenancies is important. 10c. The Panel requested further clarity and a more accurate representation in relation to the materials proposed and suggested the palette of materials used for the CFC could be extended to the smaller tenancies to create a more cohesive response. 10d. Comment was made the western elevation of the smaller tenancies is highly visible for customer accessing the CFC and a	10a. Noted – a variety of fencing is utilised around the perimeter of the CFC at the public facing interfaces, with feature fencing of various heights selected. 10b. Noted – materials have now been carried through to the showroom and fast food outlet tenancies to ensure consistency is achieved. 10c. Noted – see point above. 10d. Noted – the proposal has been developed further to provide a piece of public art along all facades of the showroom tenancies to create visual interest and a more attractive interface.	10a. The Panel stated there is an opportunity to apply more depth in relation to the façade and the public art. 10b. Comment was made by the Panel the transformer is too prominent and has significant presence at the entrance. The Applicant was encouraged to focus on improved the screening of this and consider ways to enhance the entrance experience. 10e. The Panel recommended that additional design work be undertaken to refine the pick-up canopy to improve wayfinding and better describe this as the customer focal point. 10f. It was suggested by the Panel to interrogate the durability of the materials which are used throughout this development. 10g. The fencing information in	

designed response is necessary. Landscape could be employed here in addition to consideration of the building elevation.		relation to the aesthetic impact of the perimeter fencing, noting that this has only been indicated on the plans, could have a significant impact on the overall design. 10h. There is an opportunity to better screen the services on the Eastern elevation of the CFC, or to enhance their appearance.	
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NOTES

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE CONTRACT DRAWINGS AND SPECIFICATION.
2. ALL FINISHED LEVELS ARE IN METRES TO AHD.
3. HORIZONTAL DATUM IS PCG94.
4. SURVEY CONTOURS & FEATURE SURVEY WAS PROVIDED BY McMULLEN NOLAN GROUP (MNG).
5. ALL LEVELS SHALL BE DETERMINED FROM BENCHMARKS ESTABLISHED BY THE PROJECT SURVEYOR.
6. ALL TRANSITIONS TO EXISTING WORK SHALL BE SMOOTH AND OF NEAT APPEARANCE.
7. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY OR CLASH WITH OTHER SERVICES TO THE SUPERINTENDENT.
8. UNLESS INSTRUCTED OTHERWISE THE CONTRACTOR SHALL NOT DISTURB ANY EXISTING TREES OR VEGETATION.
9. EXISTING SERVICE UTILITIES TO BE PROTECTED AND MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION WORKS.
10. ALL FINISHED LEVELS TO TIE INTO EXISTING LEVELS AT EXTENT OF WORKS BOUNDARY UNLESS OTHERWISE ADVISED BY THE SUPERINTENDENT.
11. KERB TYPE TO BE BARRIER KERB UNLESS NOTED OTHERWISE.

LEGEND

- EXTENT OF WORKS BOUNDARY
- EXISTING SURFACE LEVEL
- PROPOSED EARTHWORKS PAD LEVEL
- EXISTING SURFACE LEVEL
- PROPOSED SURFACE CONTOUR (0.5m INTERVAL)
- EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- EXISTING KERBING



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2	18.05.23	KAM	CCB	EARTHWORKS LEVELS AMENDED					
1	12.04.23	KAM	CCB	EARTHWORKS LEVELS AMENDED					
0	16.02.23	KAM	CCB	ISSUED FOR CONSTRUCTION					
B	09.02.23	KAM	CCB	EARTHWORKS AMENDED					
A	02.02.23	KAM	CCB	ISSUED FOR REVIEW					
No.	DATE	DRAWN	APPROVED	AMENDMENT	No.	DATE	DRAWN	APPROVED	AMENDMENT

This plan shall not to be used for construction unless issued as rev 0 and signed as approved.

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CLIENT HESPERIA		
DESIGNED KAM	CHECKED CCB	APPROVED C. BITMEAD
DRAWN KAM	CHECKED CCB	DATE 16.02.23

TABEC
Civil Engineering Consultants

TABEC PTY LTD
ACN 090 796 204

Level 2, 54-58 Havelock Street, West Perth WA 6005
t 08 9425 5900 e info@tabec.com.au
www.tabec.com.au

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TITLE FORWARD WORKS BULK EARTHWORKS - PHASE 1		

[illegible]



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SHEET LIST

TP00	COVER PAGE
TP01	SITE LOCALITY PLAN
TP02	EXISTING CONDITIONS
TP03	SITE MASTERPLAN
TP04	CFC SITE PLAN
TP05	CFC ROOF PLAN
TP06	CFC OFFICE PLAN
TP07	CFC OVERALL ELEVATIONS
TP08	CFC OFFICE ELEVATIONS
TP09	CFC TYPICAL SECTIONS
TP10	CFC 3D PERSPECTIVES
TP11	COMMERCIAL LAND SITE PLAN
TP12	TENANCY 1 FLOOR & ROOF PLAN
TP13	TENANCY 1 ELEVATIONS
TP14	TENANCY 2 & 3 FLOOR & ROOF PLAN
TP15	TENANCY 2 & 3 ELEVATIONS
TP16	TENANCY 4 FLOOR & ROOF PLAN
TP17	TENANCY 4 ELEVATIONS
TP18	COMMERCIAL LAND 3D PERSPECTIVES
TP19	STREETSCAPE ELEVATIONS
TP20	SIGNAGE AND FENCE DETAILS



PRODUCED FOR FABCOT

PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA



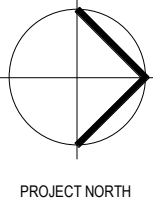
No.	DATE	REVISION	BY	CHK
P2	23.06.2023	PRELIMINARY ISSUE	AB	
P3	08.06.2023	PRELIMINARY ISSUE	AB	
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
SITE LOCALITY PLAN

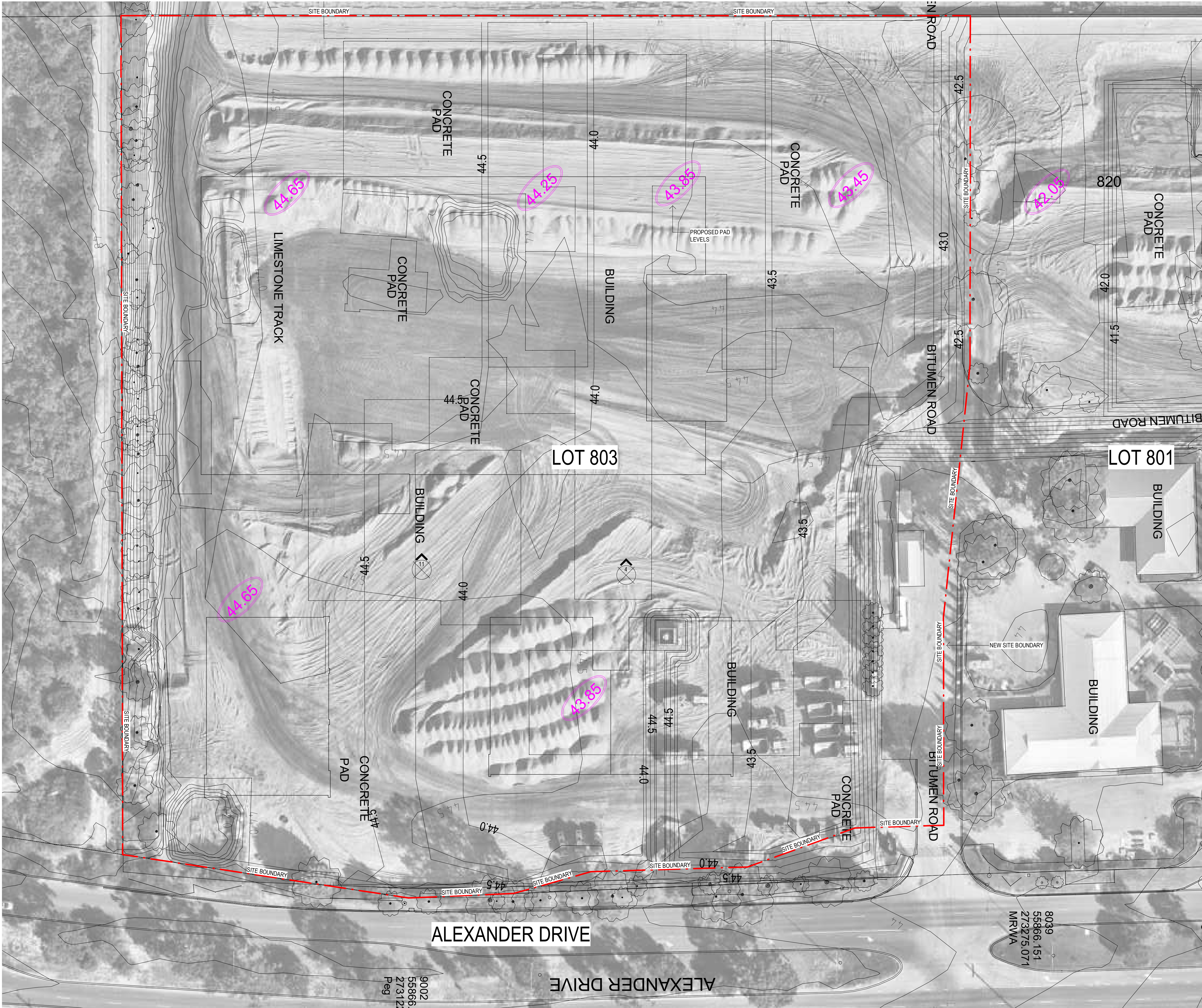


CLIENT:
PRODUCED FOR FABCOT

DATE: JUNE 2023
DRAWN BY: AB
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SCALE: 1 : 4000 @ A3

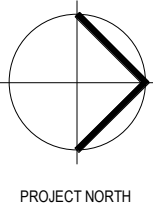
JOB NO:	22386
DRAWING NO:	TP01
REVISION:	B





PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
EXISTING CONDITIONS



CLIENT:
PRODUCED FOR FABCOT

DATE: JUNE 2023
DRAWN BY: AB
SCALE: 1: 500 @ A1
SCALE:

JOB NO:	22386
DRAWING NO:	TP02
REVISION:	B

No.	DATE:	REVISION:	BY:	CHK:
P2	23.06.2023	PRELIMINARY ISSUE	AB	
P3	08.06.2023	PRELIMINARY ISSUE	AB	
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	

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ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN
STANDARD AS2890
(5.4m x 2.4m)

ALL RELATIVE LEVELS ARE SHOWN TO A.H.D.
(Australian Height Datum)

GROSS FLOOR AREA (GFA) AS DEFINED BY THE CITY OF STIRLING AS THE TOTAL FLOOR AREA WITHIN THE BUILDING MEASURED FROM THE OUTSIDE OF MAIN FACES OF EXTERNAL WALLS (INCLUDING THE PORTION OF ANY COMMON OR PARTY WALL FORMING PART OF THE BUILDING) EXCLUSIVE OF PARKING FACILITIES SITED WITHIN THE BUILDING.

	INDICATES EXTENT OF PROPOSED WAREHOUSE AND/OR SHOWROOM
	INDICATES EXTENT OF PROPOSED OFFICE AREAS
	INDICATES EXTENT OF HEAVY DUTY HARDBOARD TO CIVIL ENGINEERS DETAILS
	INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
	CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
	CRUSHED ROCK TO FIRE TRUCK ACCESS TRACK
	AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
	AREA OF WATER SENSITIVE URBAN DESIGN (WSUD) LANDSCAPING
	ADVANCED / SHADE TREE - REFER TO LANDSCAPE'S REPORT
	EXISTING SITE TREES TO BE MAINTAINED

BUILDING	GFA
OFFICE	650 m²
PROPOSED CFC	7,850 m²
TENANCY 1	1,215 m²
TENANCY 2	1,001 m²
TENANCY 3	1,001 m²
TENANCY 4	228 m²
TOTAL AREA	11,945 m²

WAREHOUSE BAYS PROVIDED (1 BAY / 50m ² GFA)	170
SHOWROOM BAYS PROVIDED (1 BAY / 30m ² GFA)	116
FAST FOOD BAYS PROVIDED (1 BAY / 30m ² GFA)	23
VAN PARKING SPACES	98

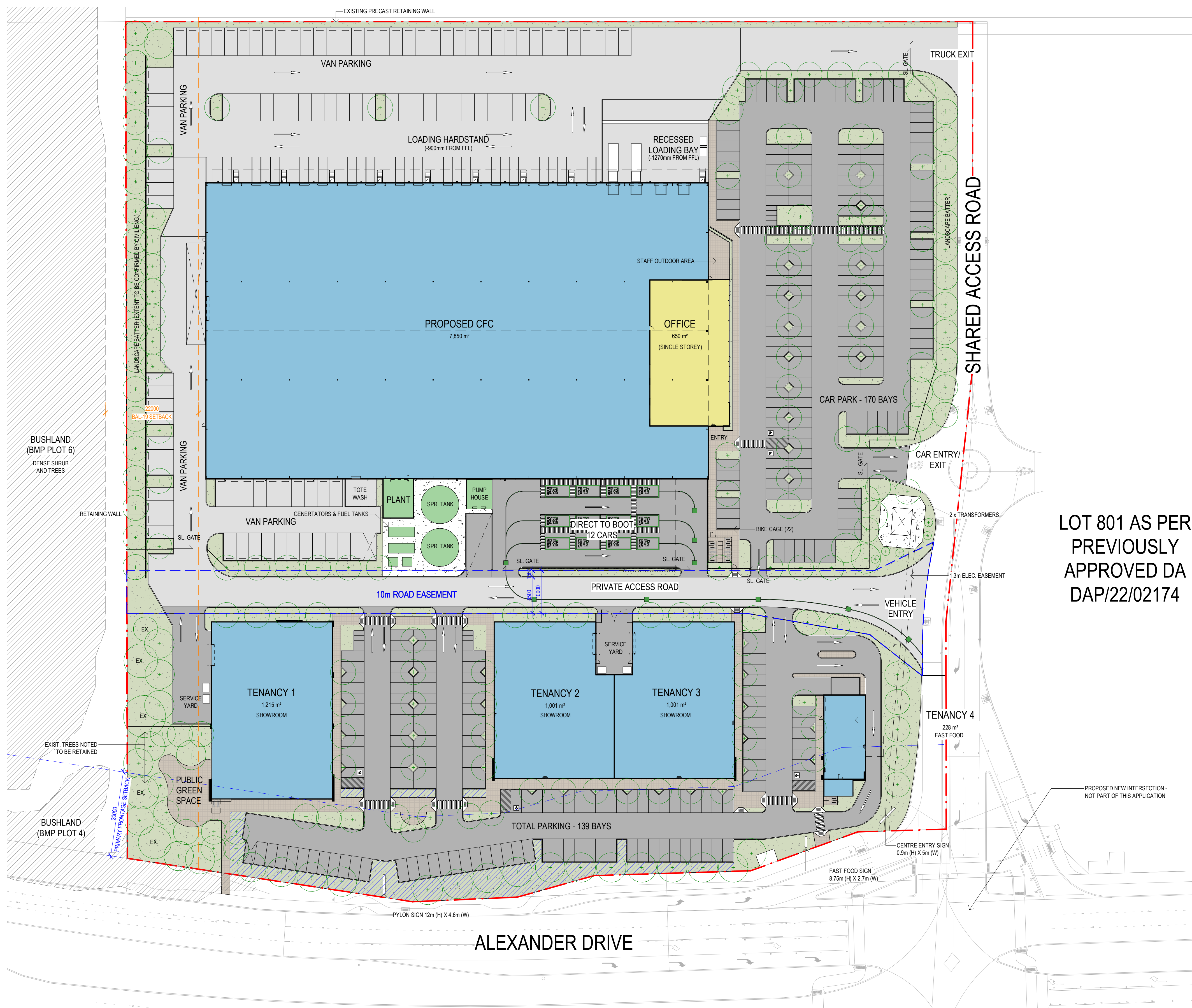
TOTAL SITE AREA	39,548m ²
TOTAL BUILDING FOOTPRINT	11,945m ²
SITE BUILDING COVERAGE	30.20%
LANDSCAPING COVERAGE	14.97%
MATURE TREES REQUIRED (1 TREE/500m ² OF SITE AREA)	79

No.	DATE:	REVISION:	BY:	CHK:
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
P1	19.12.2023	ISSUED TO CONSULTANTS	AB	
0				
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	
C	31.01.2023	ISSUED FOR PLANNING APPROVAL	AB	

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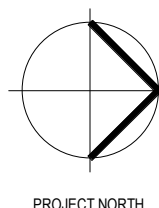
**watson
young**



PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:

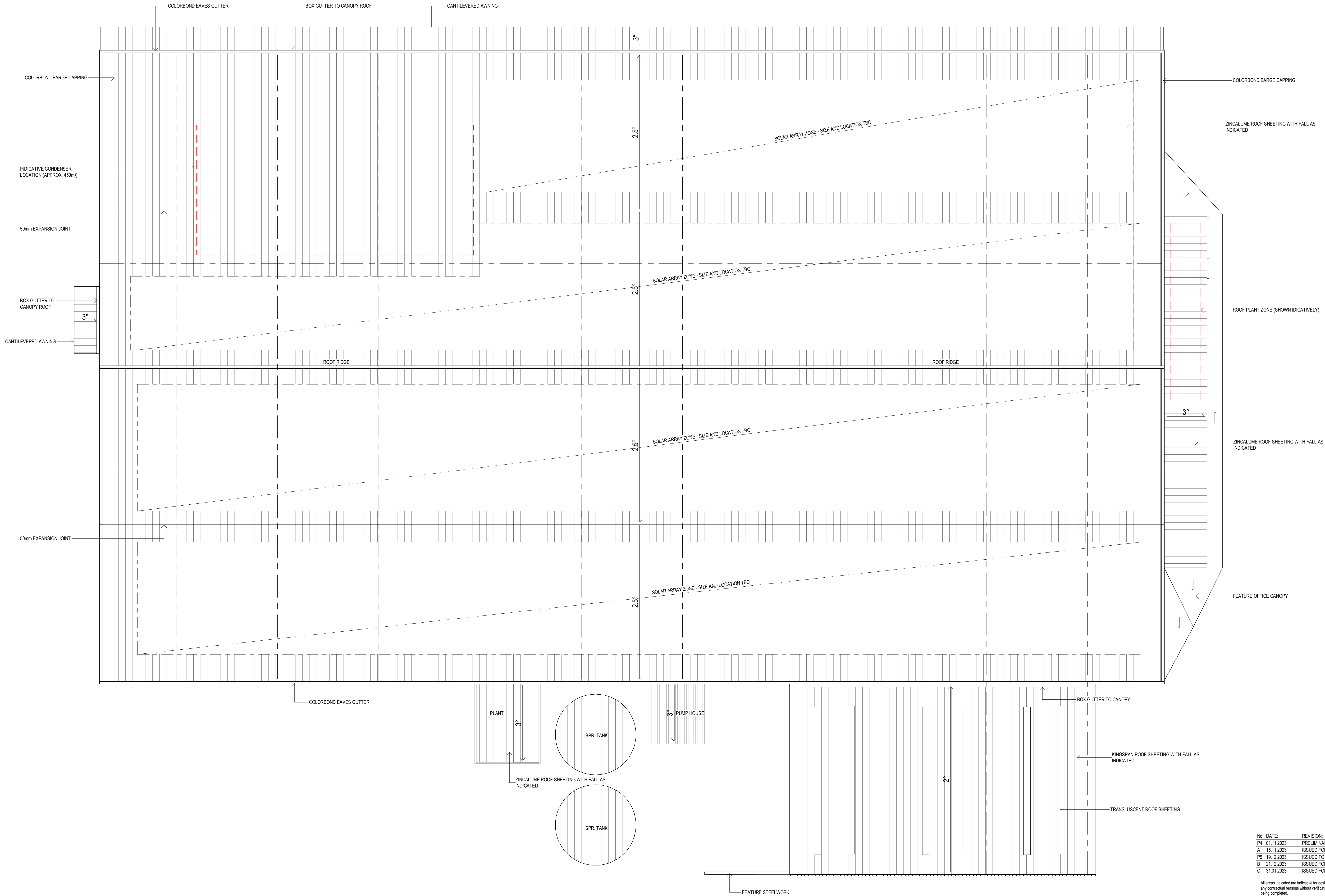
SITE MASTERPLAN



CLIENT: PRODUCED FOR FABCOT

DATE: JUNE 2023
DRAWN BY: AB
SCALE: 1:500 @ A1
SCALE: 1:1000 @ A3

JOB NO: 22386	
DRAWING NO: TP03	REVISION: C



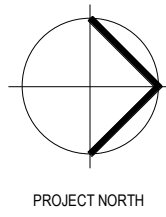
No.	DATE	REVISION	BY:	CHK:
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A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
P5	19.12.2023	ISSUED TO CONSULTANTS	MDB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	
C	31.01.2023	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
WOOLWORTHS CFC
CFC ROOF PLAN

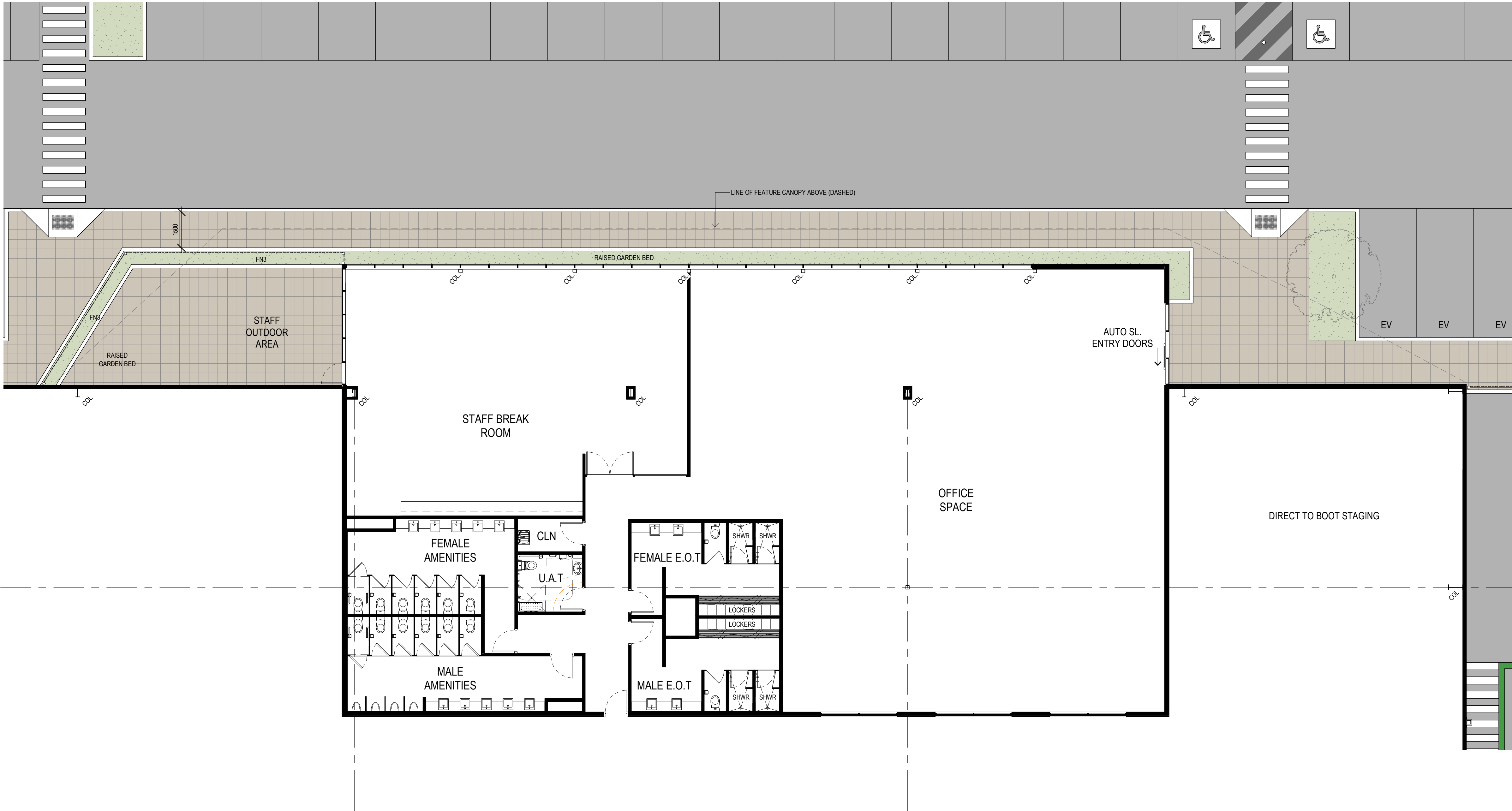


CLIENT:
PRODUCED FOR FABCOT

DATE: JULY 2023
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SCALE: 1 : 200 @ A1
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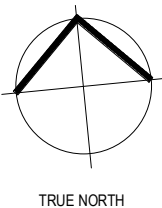
JOB NO:	22386
DRAWING NO:	TP05
REVISION:	C





PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
WOOLWORTHS CFC
CFC OFFICE FLOOR PLAN



CLIENT:
PRODUCED FOR FABCOT

DATE: JULY 2023
DRAWN BY: AB
SCALE: 1 : 100 @ A1
SCALE: 1 : 200 @ A3

JOB NO:	22386
DRAWING NO:	TP06
REVISION:	C

No.	DATE	REVISION	BY:	CHK:
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
P5	19.12.2023	ISSUED TO CONSULTANTS	MDB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	
C	31.01.2023	ISSUED FOR PLANNING APPROVAL	AB	

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(A)	ALUMINIUM FRAMED GLAZING	CLEAR
(B)	PRECAST CONCRETE PANEL, TEXTURE PAINT	COLORBOND JASPER
(C)	COLORBOND WALL CLADDING	COLORBOND DOVER WHITE
(D)	COLORBOND WALL CLADDING	COLORBOND DUNE
(E)	COLORBOND WALL CLADDING	COLORBOND JASPER
(F)	POLYCARBONATE WALL CLADDING	OPAQUE
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING	COLORBOND DUNE
(J)	DOWNPIPES / CAPPINGS	COLORBOND DUNE
(K)	PA DOORS	COLORBOND DUNE
(L)	BOLLARDS	SAFETY YELLOW
(M)	CFC CLADDING WITH BOARD FINISH	WHITE
(N)	COMPOSITE TIMBER CLADDING	TIMBER
(O)	CFC CLADDING	DARK GREY
(P)	POWDERCOAT FINISH	COLORBOND JASPER
(Q)	SCREEN FENCE	POWDER COAT FINISH
(R)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GREEN PAW PAW
(S)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GRASS COURT
(T)	BLOCK WORK	LIMESTONE / CREAM



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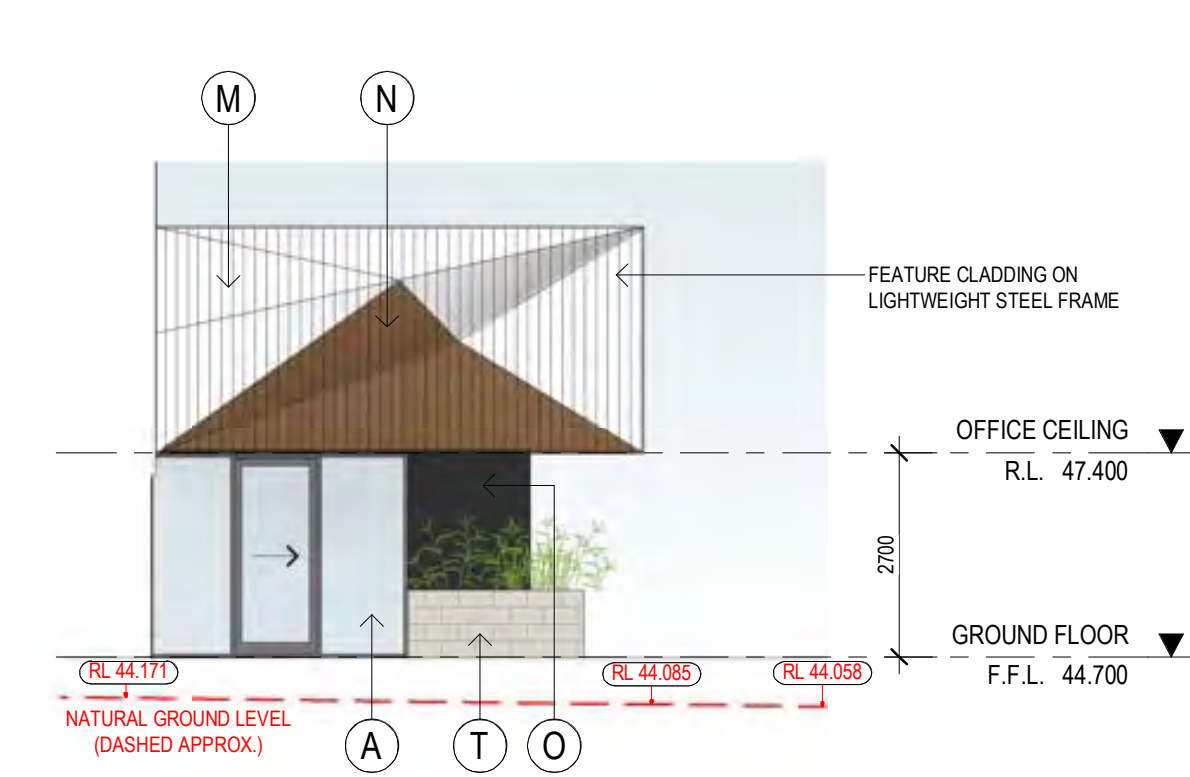
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JOB NO: 22386	
DRAWING NO: TP07	REVISION: C

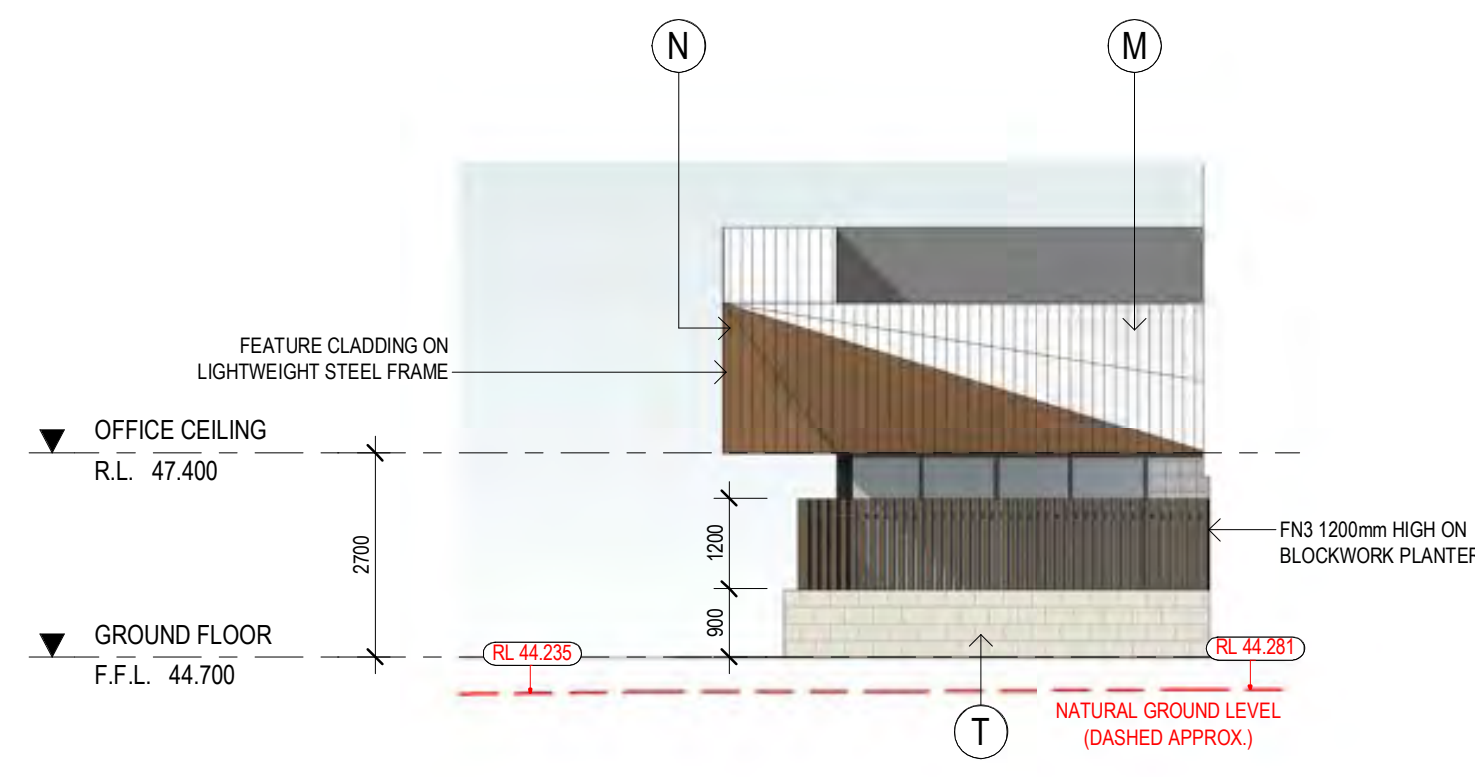
**watson
young**



OFFICE ELEVATION - NORTH
SCALE: 1 : 100



OFFICE ELEVATION - EAST
SCALE: 1 : 100



OFFICE ELEVATION - WEST
SCALE: 1 : 100

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR
(B)	PRECAST CONCRETE PANEL, TEXTURE PAINT	COLORBOND JASPER
(C)	COLORBOND WALL CLADDING	COLORBOND DOVER WHITE
(D)	COLORBOND WALL CLADDING	COLORBOND DUNE
(E)	COLORBOND WALL CLADDING	COLORBOND JASPER
(F)	POLYCARBONATE WALL CLADDING	OPAQUE
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING	COLORBOND DUNE
(J)	DOWNPIPES / CAPPINGS	COLORBOND DUNE
(K)	PA DOORS	COLORBOND DUNE
(L)	BOLLARDS	SAFETY YELLOW
(M)	CFC CLADDING WITH BOARD FINISH	WHITE
(N)	COMPOSITE TIMBER CLADDING	TIMBER
(O)	CFC CLADDING	DARK GREY
(P)	POWDERCOAT FINISH	COLORBOND JASPER
(Q)	SCREEN FENCE	POWDER COAT FINISH
(R)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GREEN PAW PAW
(S)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GRASS COURT
(T)	BLOCK WORK	LIMESTONE / CREAM

No.	DATE	REVISION	BY:	CHK:
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
PS	19.12.2023	ISSUED TO CONSULTANTS	MOB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	
C	31.01.2023	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

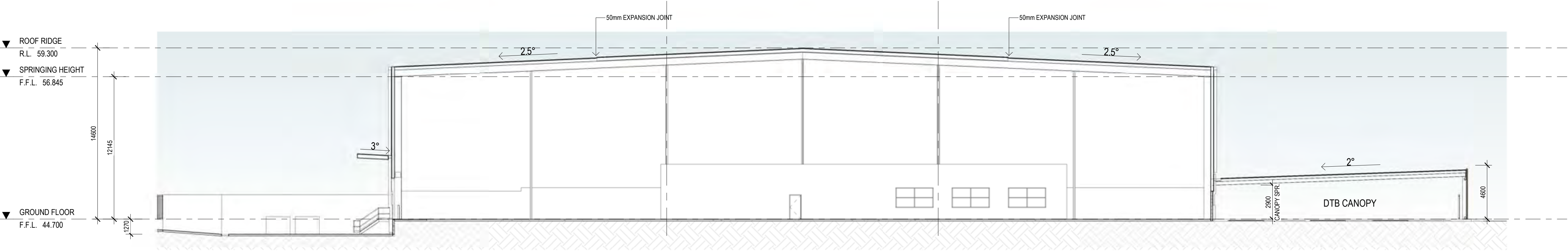
TITLE:
WOOLWORTHS CFC
CFC OFFICE ELEVATIONS

CLIENT:
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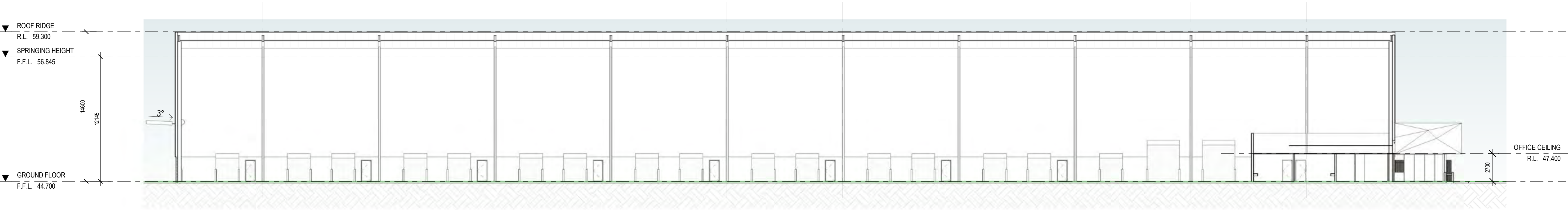
DATE: JULY 2023
DRAWN BY: AB
SCALE: 1:100 @ A1
SCALE: 1:200 @ A3

JOB NO:	22386
DRAWING NO:	TP08
REVISION:	C

watson
young



TYPICAL SECTION - SHORT
SCALE: 1:200



TYPICAL SECTION - LONG
SCALE: 1:200

No.	DATE	REVISION	BY	CHK
P3	06.09.2023	PRELIMINARY ISSUE	AB	
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
P5	19.12.2023	ISSUED TO CONSULTANTS	IMDB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
WOOLWORTHS CFC
CFC TYPICAL SECTIONS

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DATE: JULY 2023
DRAWN BY: AB
SCALE: 1:200 @ A1
SCALE: 1:400 @ A3

JOB NO:	22386
DRAWING NO:	TP09
REVISION:	B

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No.	DATE	REVISION	BY	CHK
P1	26.06.2023	PRELIMINARY ISSUE	AB	
P2	08.09.2023	PRELIMINARY ISSUE	AB	
P3	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

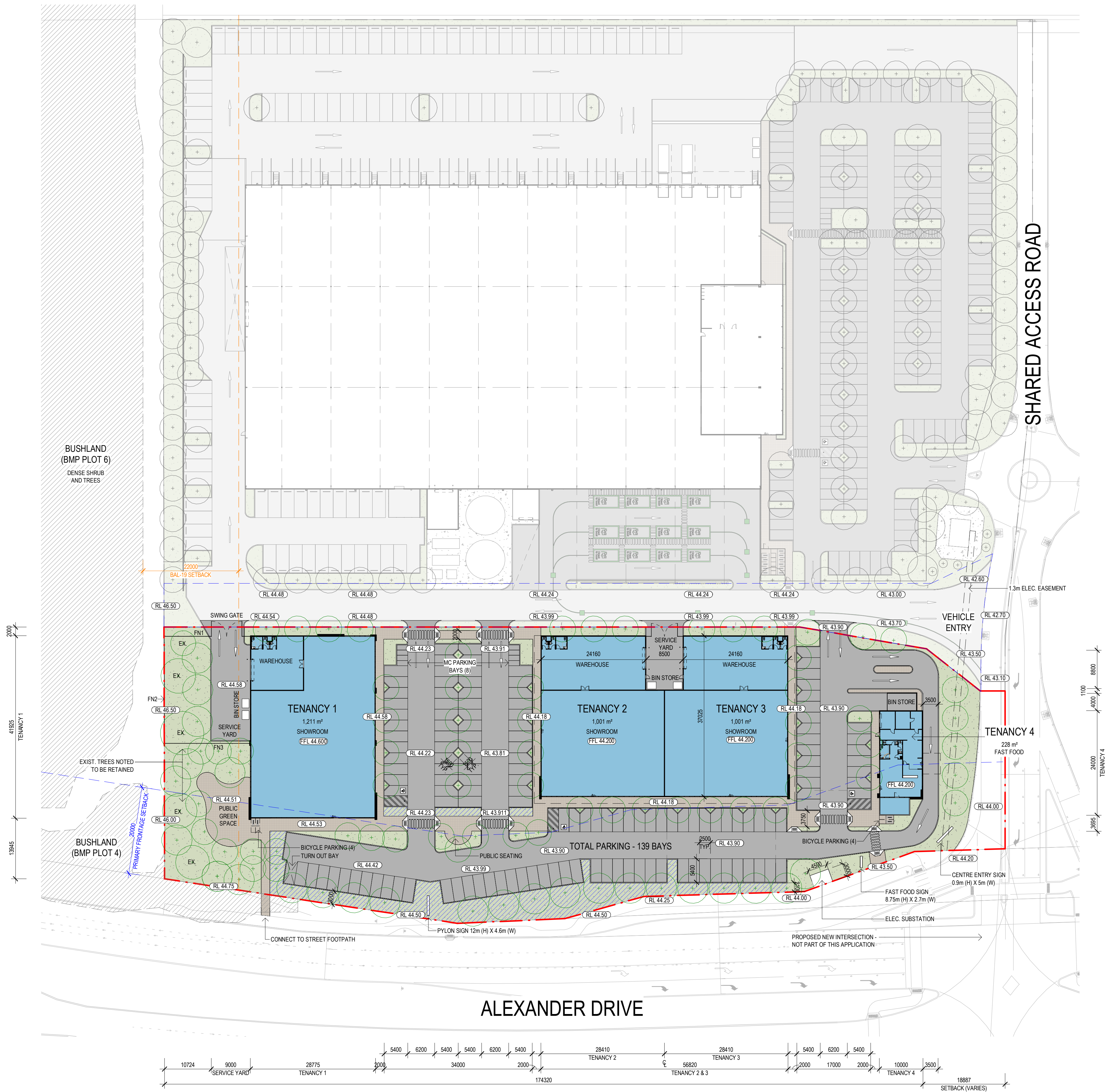
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WOOLWORTHS CFC
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CLIENT:
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DATE: JULY 2023
DRAWN BY: AB
SCALE: @ A1
SCALE:

JOB NO:	22386
DRAWING NO:	TP10
REVISION:	B

**watson
young**



- NOTES**
- ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- ALL PARKING SPACES IN ACCORDANCE WITH CITY OF STIRLING PLANNING SCHEME
- ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
- SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
- ALL RELATIVE LEVELS ARE SHOWN TO A H.D. (Australian Height Datum)
- GROSS FLOOR AREA (GFA) AS DEFINED BY THE CITY OF STIRLING AS THE TOTAL FLOOR AREA WITHIN THE BUILDING MEASURED FROM THE OUTSIDE OF MAIN FACES OF EXTERNAL WALLS (INCLUDING THE PORTION OF ANY COMMON OR PARTY WALL FORMING PART OF THE BUILDING) EXCLUSIVE OF PARKING FACILITIES SITED WITHIN THE BUILDING.

- LEGEND**
- INDICATES EXTENT OF PROPOSED COMMERCIAL BUILDING
- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- CRUSHED ROCK TO FIRE TRUCK ACCESS TRACK
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- AREA OF WATER SENSITIVE URBAN DESIGN (WSUD) LANDSCAPING
- ADVANCED / SHADE TREE - REFER TO LANDSCAPER'S REPORT
- EXISTING SITE TREES TO BE MAINTAINED
- FN1 2100mm HIGH BLACK PAINTED METAL PICKET (DIPLOMAT / PALISADE STYLE) FENCING
- FN2 1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN3 2100mm HIGH STEEL POWDERCOAT SLAT AND POST FENCING
- (RL XXXX) RELATIVE FLOOR LEVEL INDICATION

DEVELOPMENT ANALYSIS

BUILDING	GFA
TENANCY 1	1,211 m²
TENANCY 2	1,001 m²
TENANCY 3	1,001 m²
TENANCY 4	228 m²
TOTAL AREA	3,441 m²

EXTERNAL AREAS (APPROX)	
HARDSTAND	
LIGHT DUTY	4,477 m²
PAVING	950 m²
CRUSHED ROCK	
LANDSCAPING	2,330 m²

PARKING	
SHOWROOM RATE REQUIRED	1 BAY / 30m²
SHOWROOM GFA	
SHOWROOM BAYS REQUIRED	107
FAST FOOD RATE REQUIRED	1 BAY / 10m²
SHOWROOM GFA	
FAST FOOD BAYS REQUIRED	23
TOTAL BAYS REQUIRED	123
TOTAL BAYS PROVIDED	139
TOTAL MOTORCYCLE BAYS PROVIDED	8

BICYCLE PARKING	
RATE REQUIRED	1 BAY / 400m² GFA
BAYS REQUIRED	8
BAYS PROVIDED	8

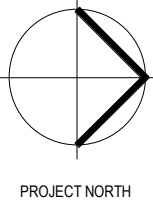
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
COMMERCIAL LAND SITE PLAN

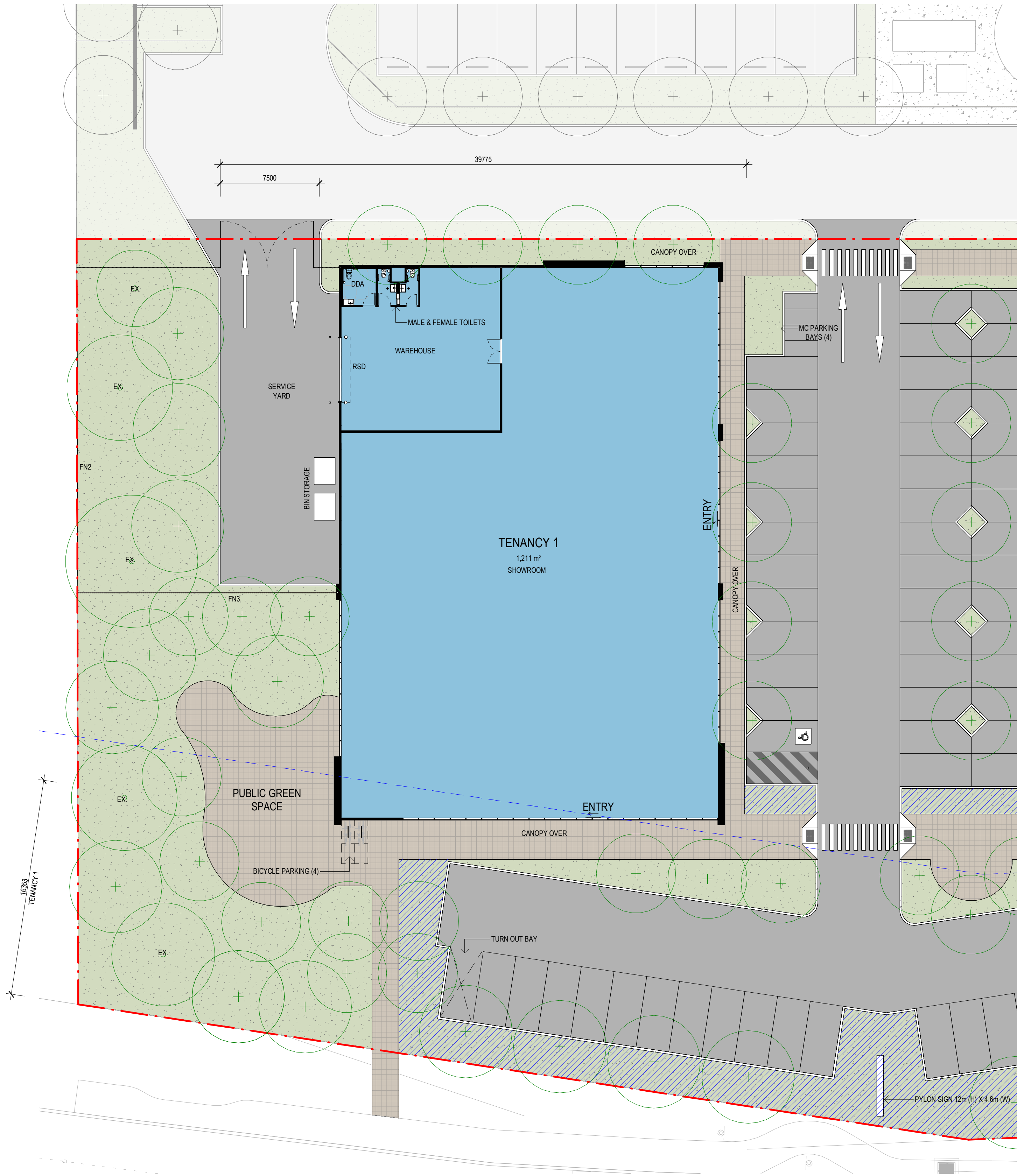


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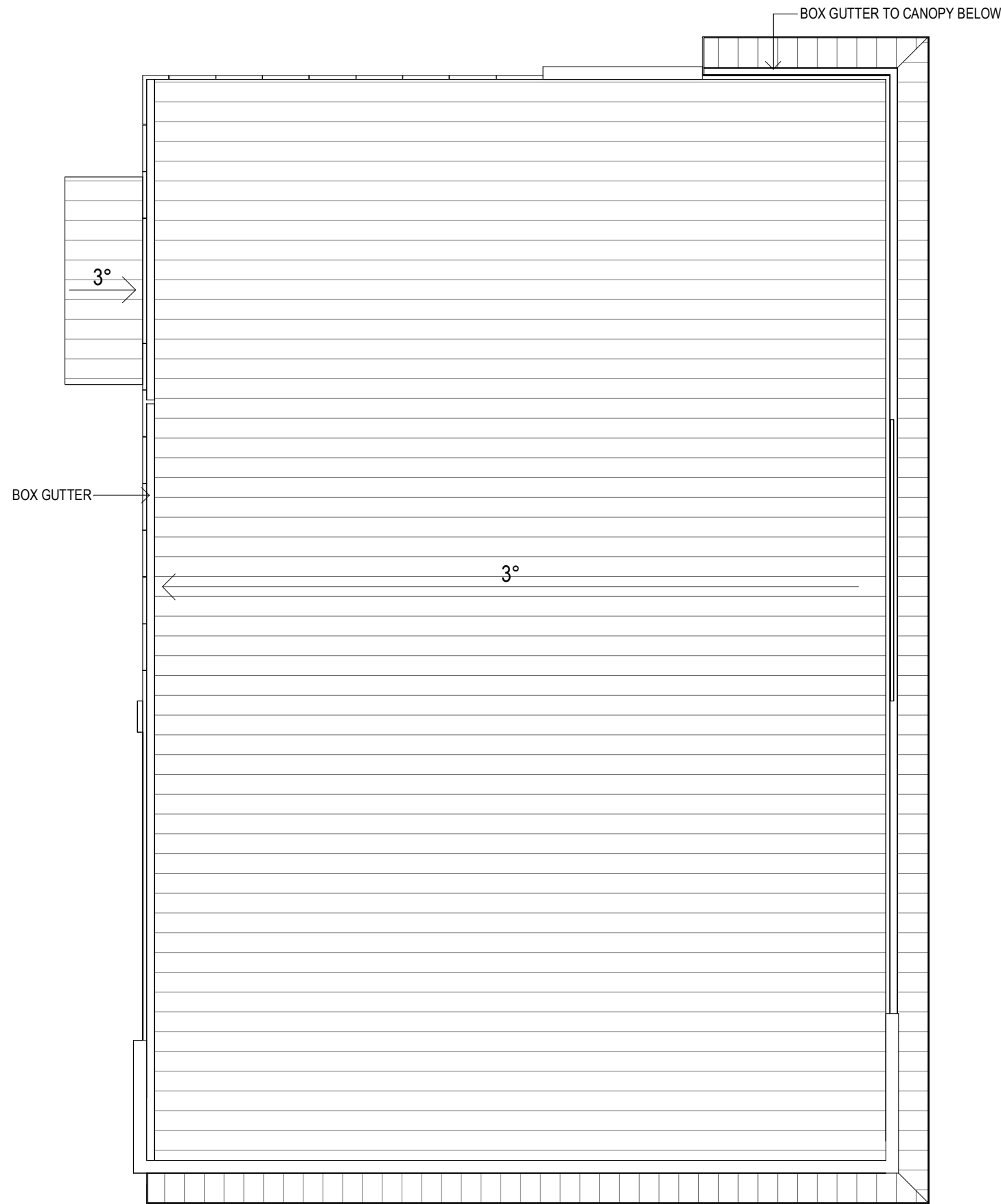
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SCALE: 1:500 @ A1
SCALE: 1:1000 @ A3

JOB NO:	22386
DRAWING NO:	TP11
REVISION:	C





TENANCY 1- FLOOR PLAN
SCALE: 1 : 200



TENANCY 1 - ROOF PLAN
SCALE: 1 : 200

LEGEND

- INDICATES EXTENT OF PROPOSED COMMERCIAL BUILDING
- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
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- FN3 2100mm HIGH STEEL POWDERCOAT SLAT AND POST FENCING
- RL XXXX RELATIVE FLOOR LEVEL INDICATION

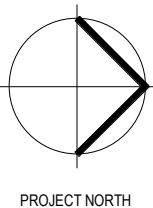
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P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
TENANCY 1 FLOOR & ROOF PLAN



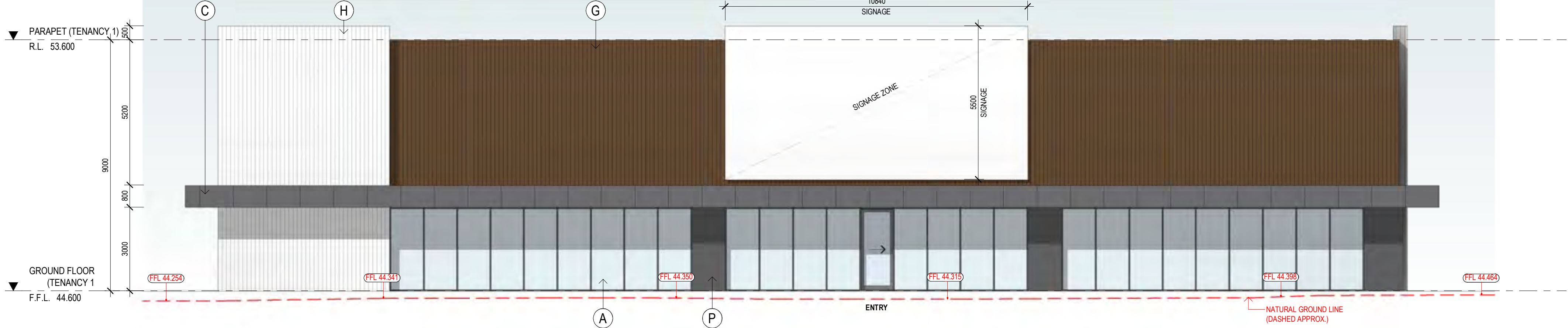
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DATE: JULY 2023
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JOB NO:	22386
DRAWING NO:	TP12
REVISION:	C

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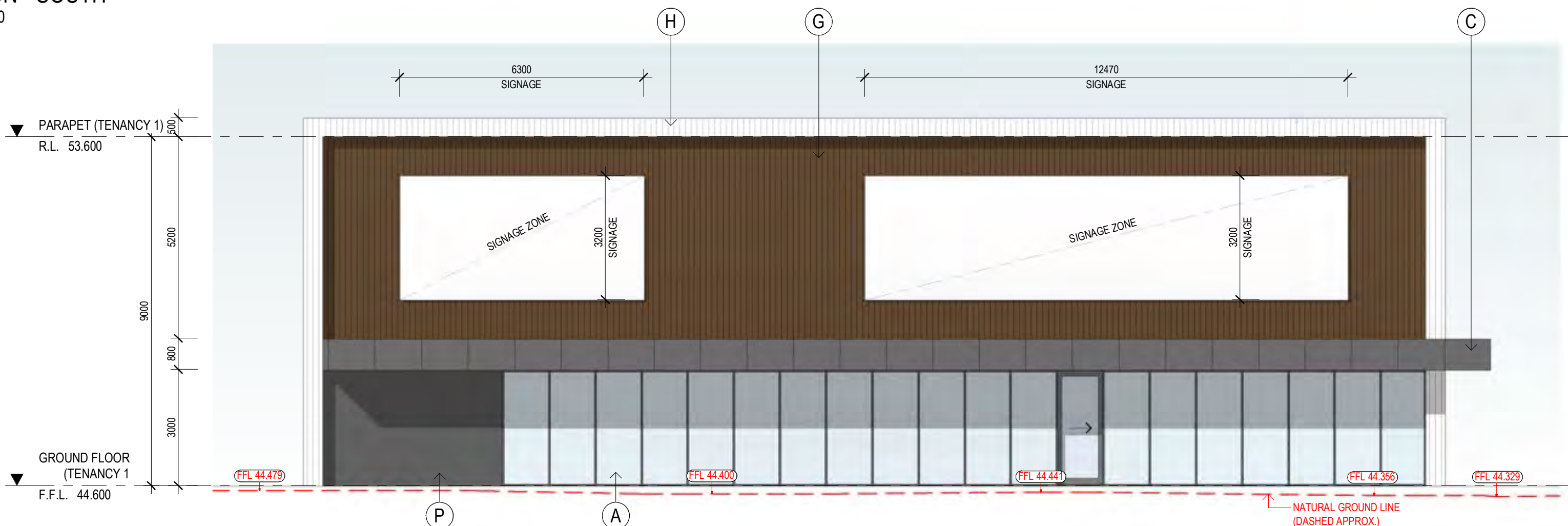
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SCALE: 1 : 100



ELEVATION - SOUTH
SCALE: 1 : 100



ELEVATION - EAST
SCALE: 1 : 100



ELEVATION WEST
SCALE: 1 : 100



EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR
(B)	PRECAST CONCRETE PANEL, TEXTURE PAINT	COLORBOND JASPER
(C)	COLORBOND WALL CLADDING	COLORBOND DOVER WHITE
(D)	COLORBOND WALL CLADDING	COLORBOND DUNE
(E)	COLORBOND WALL CLADDING	COLORBOND JASPER
(F)	POLYCARBONATE WALL CLADDING	OPAQUE
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING	COLORBOND DUNE
(J)	DOWNPIPES / CAPPINGS	COLORBOND DUNE
(K)	PA DOORS	COLORBOND DUNE
(L)	BOLLARDS	SAFETY YELLOW
(M)	CFC CLADDING WITH BOARD FINISH	WHITE
(N)	COMPOSITE TIMBER CLADDING	TIMBER
(O)	CFC CLADDING	DARK GREY
(P)	POWDERCOAT FINISH	COLORBOND JASPER
(Q)	SCREEN FENCE	POWDER COAT FINISH
(R)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GREEN PAW PAW
(S)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GRASS COURT
(T)	BLOCK WORK	LIMESTONE / CREAM

No.	DATE	REVISION	BY:	CHK:
P4	06.09.2023	PRELIMINARY ISSUE	AB	
P5	01.11.2023	PRELIMINARY DA ISSUE	AB	
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

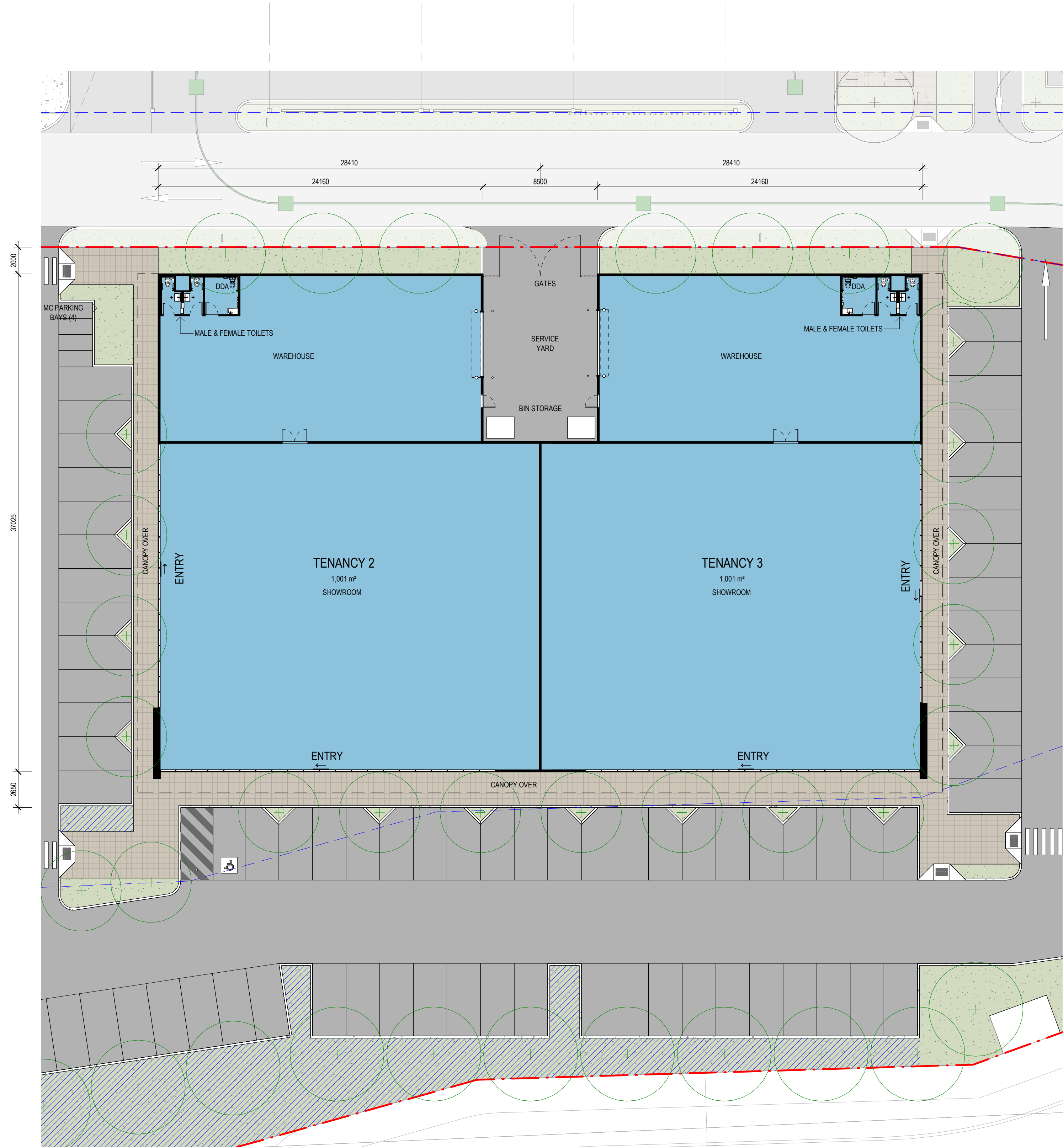
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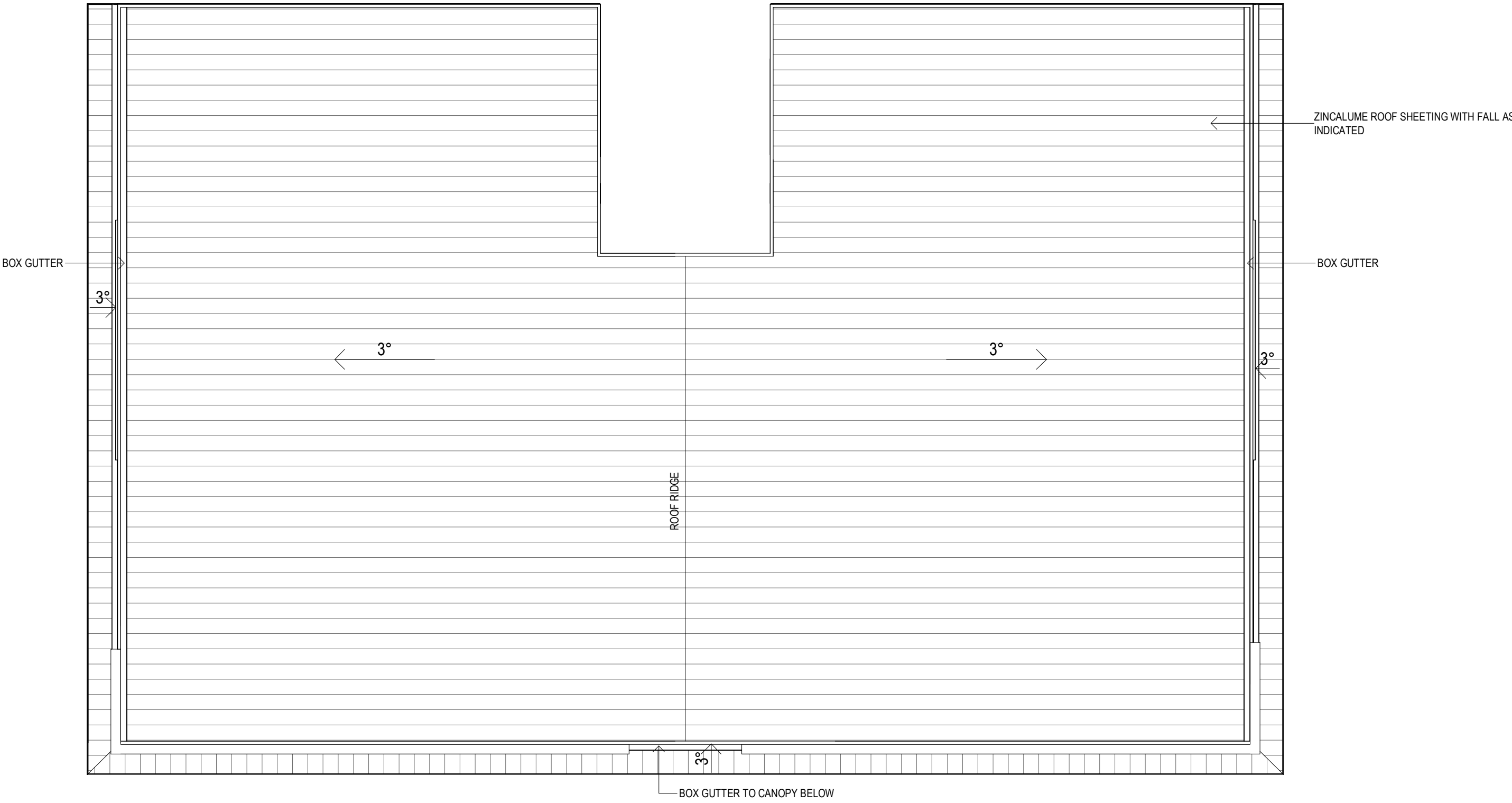
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SCALE: 1:200 @ A3

JOB NO:	22386
DRAWING NO:	TP13
REVISION:	C





TENANCY 2 & 3 - FLOOR PLAN
SCALE: 1 : 200



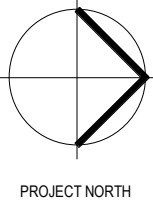
TENANCY 2 & 3 - ROOF PLAN
SCALE: 1 : 200

LEGEND

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- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
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- FN2 1800mm HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES TO 2100mm HIGH
- FN3 2100mm HIGH STEEL POWDERCOAT SLAT AND POST FENCING
- RL XXXX RELATIVE FLOOR LEVEL INDICATION

PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
TENANCY 2 & 3 FLOOR & ROOF PLAN



CLIENT:
PRODUCED FOR FABCOT

DATE: JULY 2023
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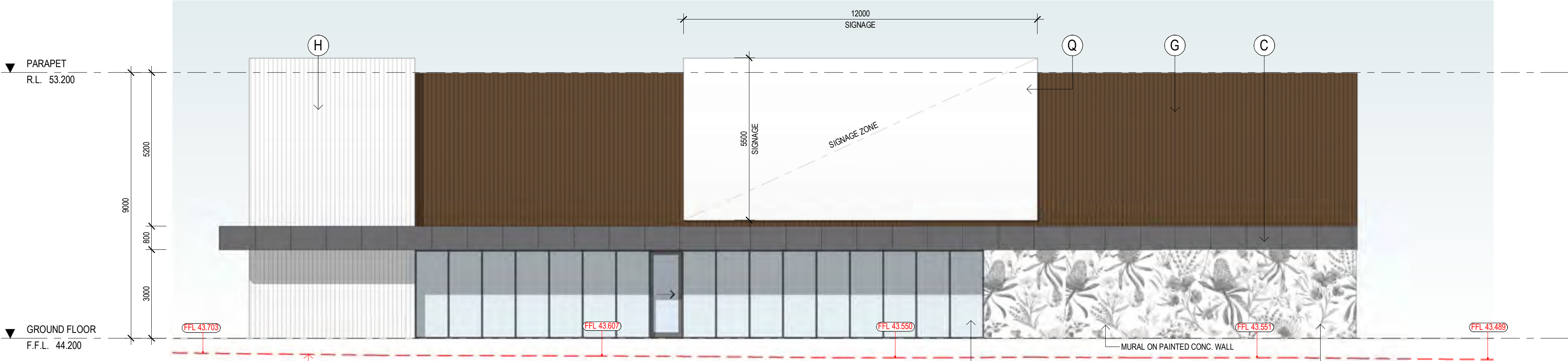
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DRAWING NO:
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REVISION:
C

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young**

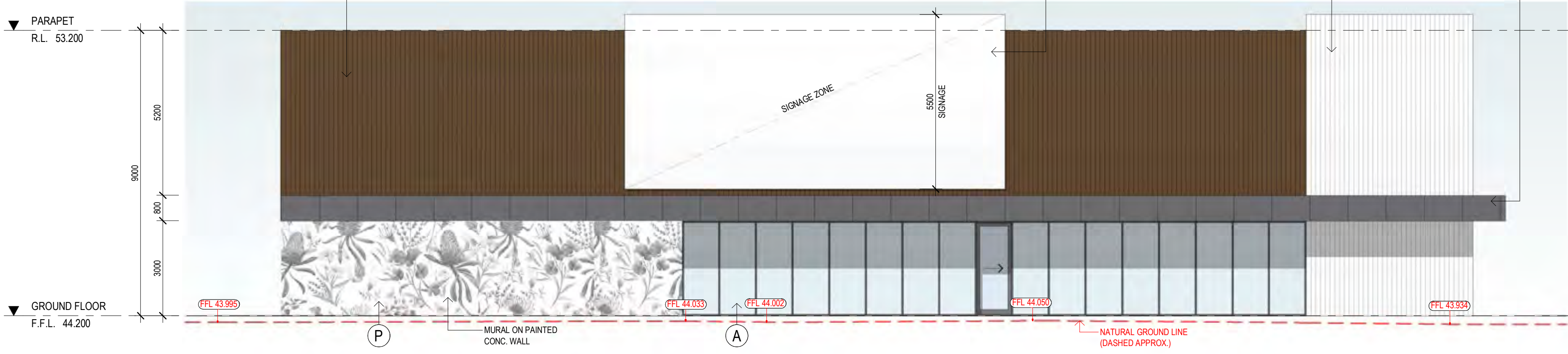
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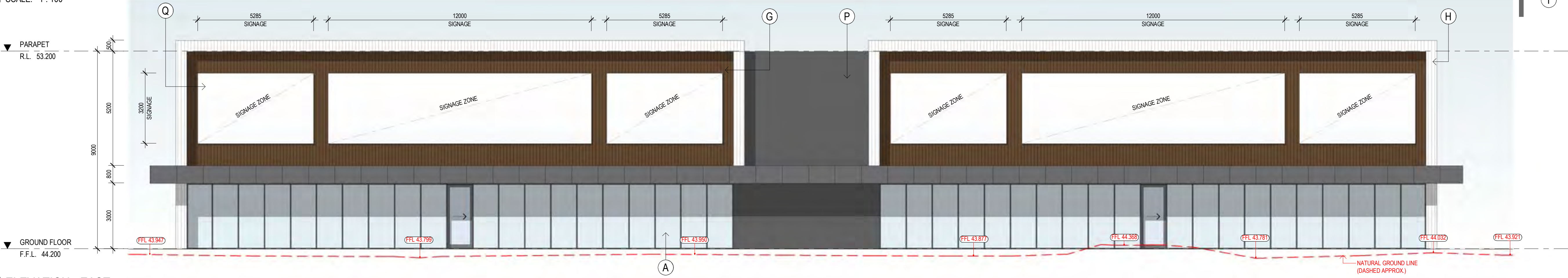
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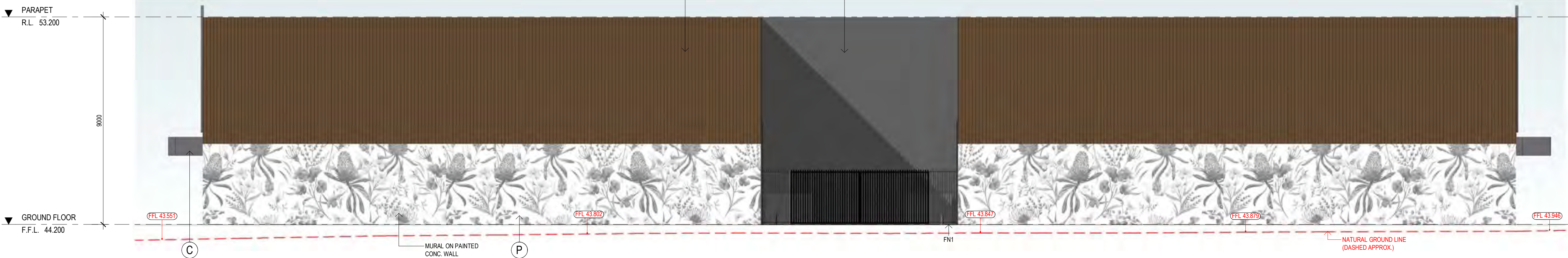
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ELEVATION - SOUTH
SCALE: 1 : 100



ELEVATION - EAST
SCALE: 1 : 100



ELEVATION - WEST
SCALE: 1 : 100

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR
(B)	PRECAST CONCRETE PANEL, TEXTURE PAINT	COLORBOND JASPER
(C)	COLORBOND WALL CLADDING	COLORBOND DOVER WHITE
(D)	COLORBOND WALL CLADDING	COLORBOND DUNE
(E)	COLORBOND WALL CLADDING	COLORBOND JASPER
(F)	POLYCARBONATE WALL CLADDING	OPAQUE
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(J)	DOWNPIPES / CAPPINGS	COLORBOND DUNE
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(L)	BOLLARDS	SAFETY YELLOW
(M)	CFC CLADDING WITH BOARD FINISH	WHITE
(N)	COMPOSITE TIMBER CLADDING	TIMBER
(O)	CFC CLADDING	DARK GREY
(P)	POWDERCOAT FINISH	COLORBOND JASPER
(Q)	SCREEN FENCE	POWDER COAT FINISH
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(S)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GRASS COURT
(T)	BLOCK WORK	LIMESTONE / CREAM

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

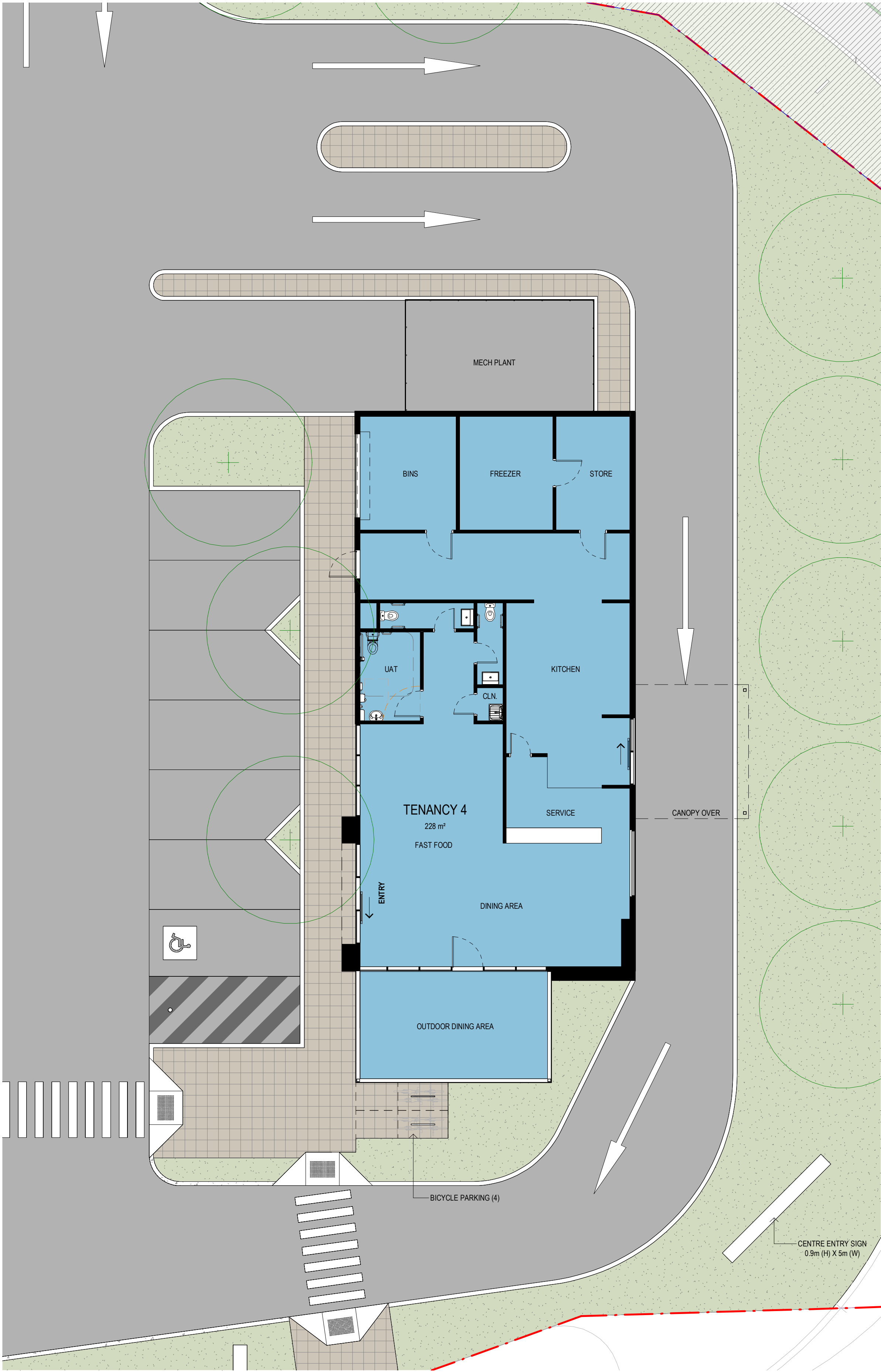
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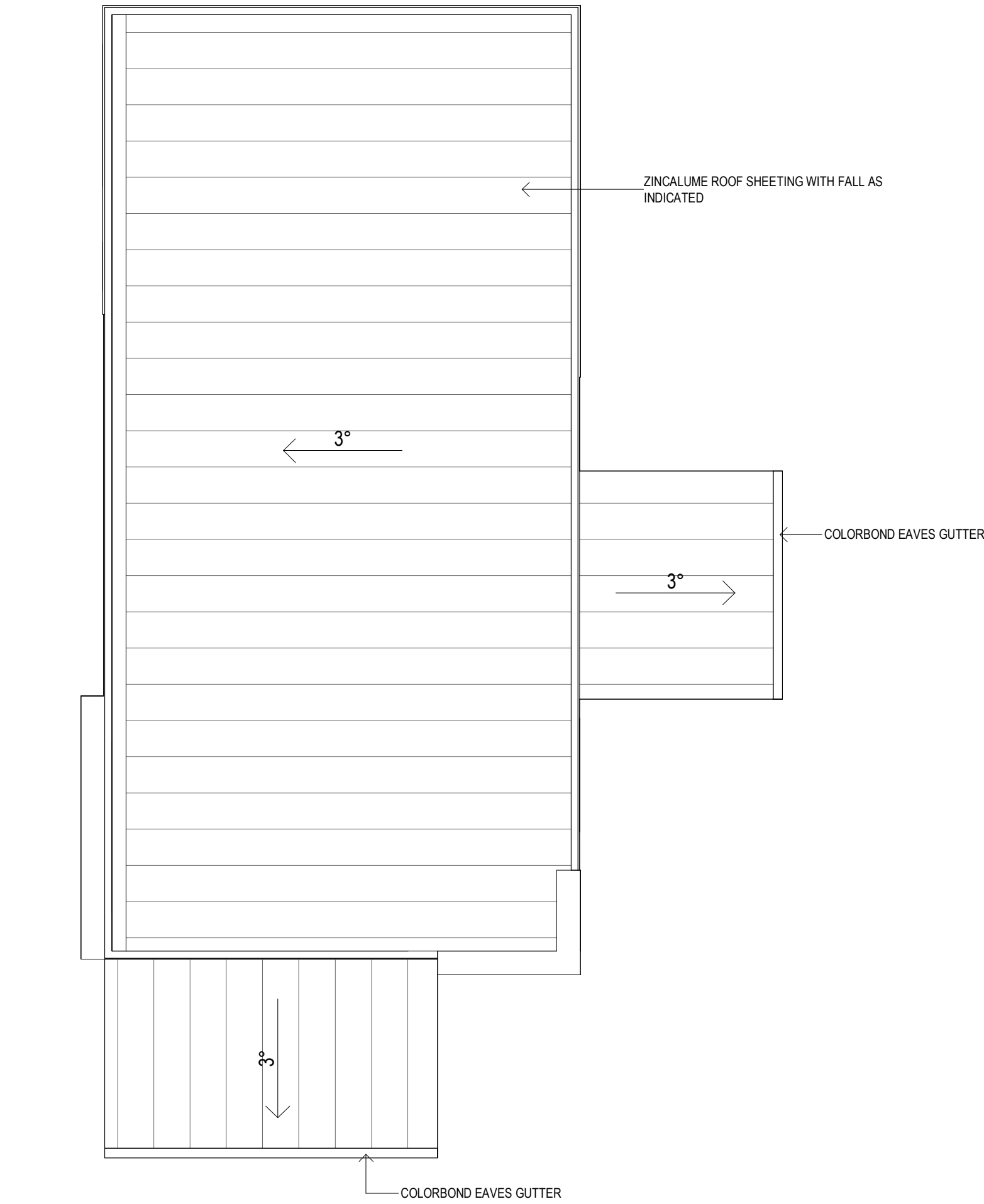
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SCALE: 1:200 @ A3

JOB NO:	22386
DRAWING NO:	TP15
REVISION:	C

watson
young



TENANCY 4 - FLOOR PLAN
SCALE: 1 : 100



TENANCY 4 - ROOF PLAN
SCALE: 1 : 100

- LEGEND
- INDICATES EXTENT OF PROPOSED COMMERCIAL BUILDING
 - INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
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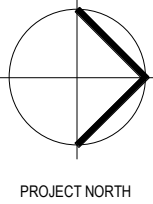
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
TENANCY 4 FLOOR & ROOF PLAN

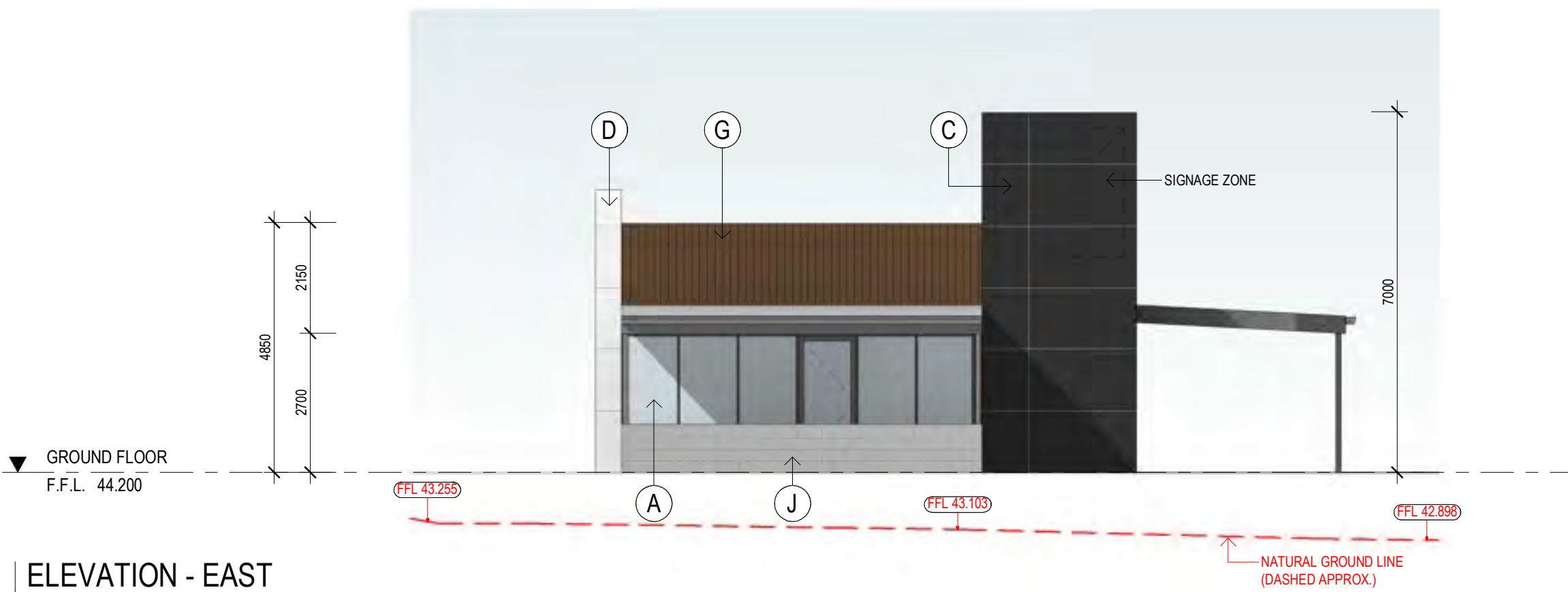


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REVISION:	C

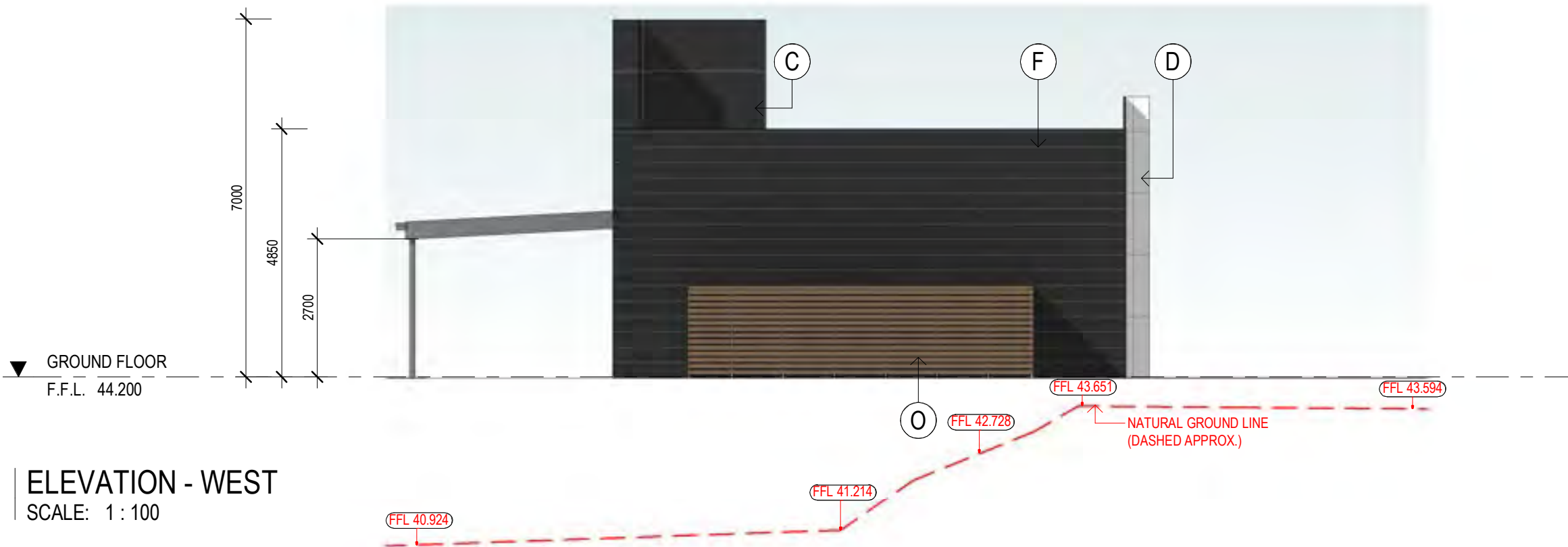
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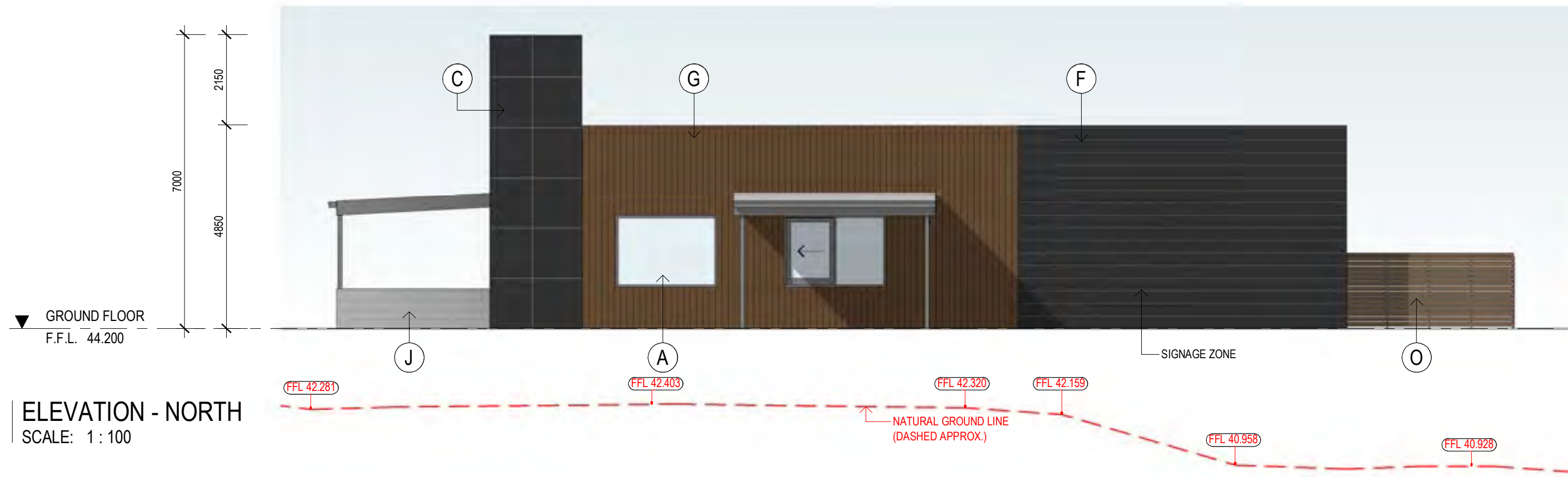
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ELEVATION - SOUTH
SCALE: 1:100



ELEVATION - WEST
SCALE: 1:100



ELEVATION - NORTH
SCALE: 1:100

EXTERNAL FINISHES

(A)	ALUMINIUM FRAMED GLAZING	CLEAR
(B)	PRECAST CONCRETE PANEL, TEXTURE PAINT	COLORBOND JASPER
(C)	COLORBOND WALL CLADDING	COLORBOND DOVER WHITE
(D)	COLORBOND WALL CLADDING	COLORBOND DUNE
(E)	COLORBOND WALL CLADDING	COLORBOND JASPER
(F)	POLYCARBONATE WALL CLADDING	OPAQUE
(G)	ROOF CLADDING	ZINCALUME
(H)	ROLLER SHUTTER DOOR CLADDING	COLORBOND DUNE
(J)	DOWNPIPES / CAPPINGS	COLORBOND DUNE
(K)	PA DOORS	COLORBOND DUNE
(L)	BOLLARDS	SAFETY YELLOW
(M)	CFC CLADDING WITH BOARD FINISH	WHITE
(N)	COMPOSITE TIMBER CLADDING	TIMBER
(O)	CFC CLADDING	DARK GREY
(P)	POWDERCOAT FINISH	COLORBOND JASPER
(Q)	SCREEN FENCE	POWDER COAT FINISH
(R)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GREEN PAW PAW
(S)	PRECAST CONCRETE PANEL, TEXTURE PAINT	DULUX GRASS COURT
(T)	BLOCK WORK	LIMESTONE / CREAM

PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
TENANCY 4 ELEVATIONS

CLIENT:
PRODUCED FOR FABCOT

DATE: JULY 2023
DRAWN BY: AB
SCALE: 1:100 @ A1
SCALE: 1:200 @ A3

JOB NO:	22386
DRAWING NO:	TP17
REVISION:	C



No.	DATE:	REVISION:	BY:	CHK:
P4	06.06.2023	PRELIMINARY ISSUE	AB	
P5	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	
C	31.01.2024	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
3D PERSPECTIVES

CLIENT:
PRODUCED FOR FABCOT

DATE: JULY 2023
DRAWN BY: AB
SCALE: @ A1
SCALE:

JOB NO:	22386
DRAWING NO:	TP18
REVISION:	B

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No.	DATE	REVISION	BY	CHK
P3	23.06.2023	PRELIMINARY ISSUE	AB	
P4	08.06.2023	PRELIMINARY ISSUE	AB	
P5	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	

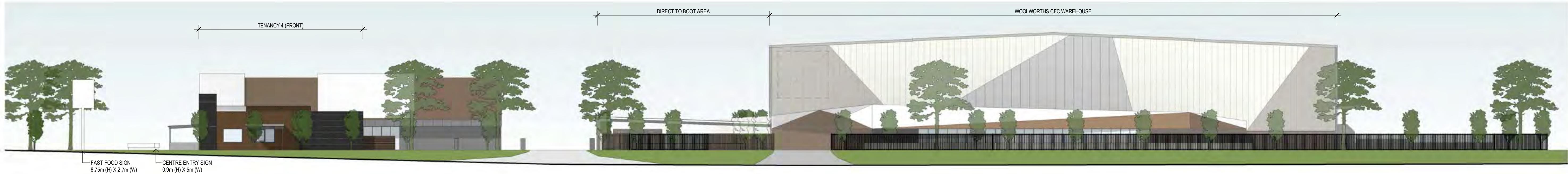
All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

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STREETSCAPE ELEVATION - ALEXANDER DRIVE

SCALE: 1 : 250



STREETSCAPE ELEVATION - SHARED ACCESS ROAD

SCALE: 1 : 250

No.	DATE	REVISION	BY	CHK
P2	23.08.2023	PRELIMINARY ISSUE	AB	
P3	08.09.2023	PRELIMINARY ISSUE	AB	
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
A	15.11.2023	ISSUED FOR PLANNING APPROVAL	AB	
B	21.12.2023	ISSUED FOR PLANNING APPROVAL	AB	

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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

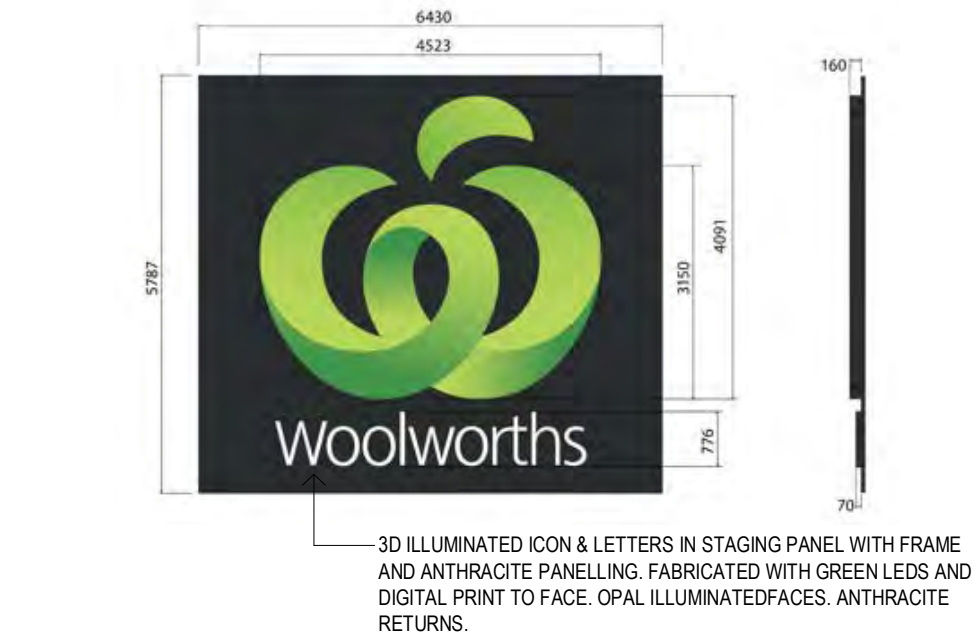
TITLE:
STREETSCAPE ELEVATIONS

CLIENT:
PRODUCED FOR FABCOT

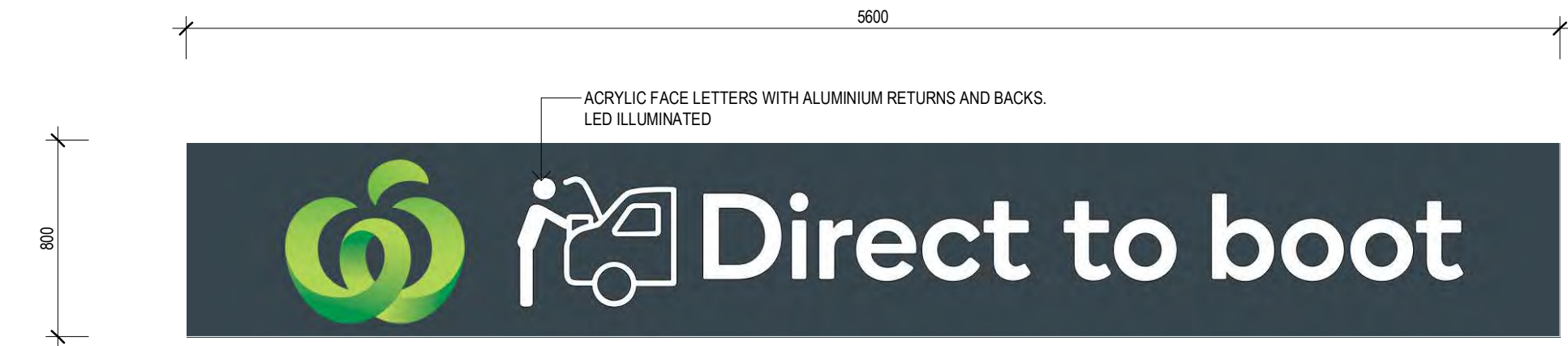
DATE: JUNE 2023
DRAWN BY: AB
SCALE: 1 : 250 @ A1
SCALE:

JOB NO:	22386
DRAWING NO:	TP19
REVISION:	B

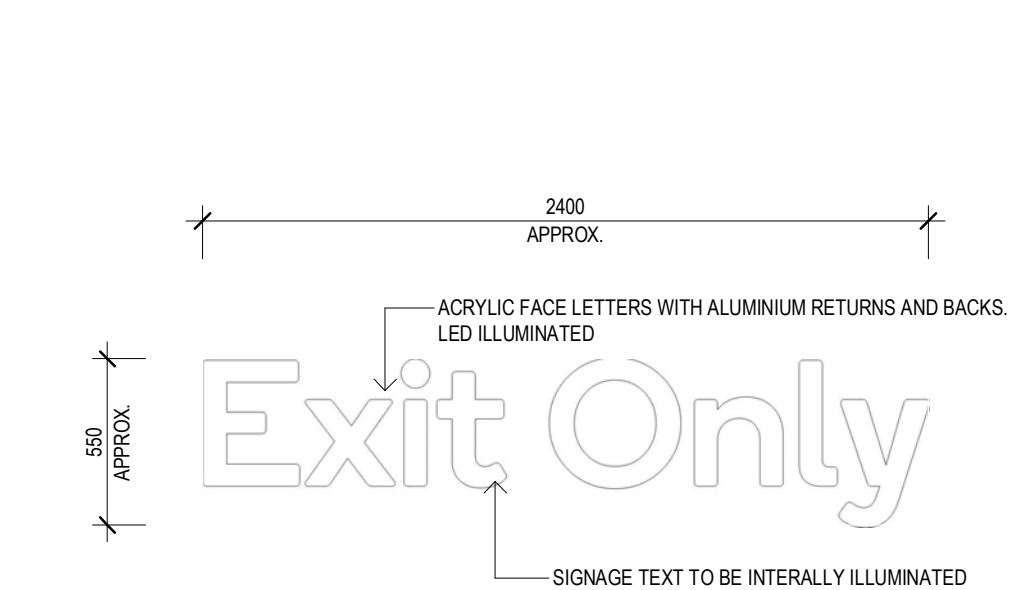
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LARGE WALL SIGN
SCALE: 1 : 100



DIRECT TO BOOT ENTRY SIGN
SCALE: 1 : 25



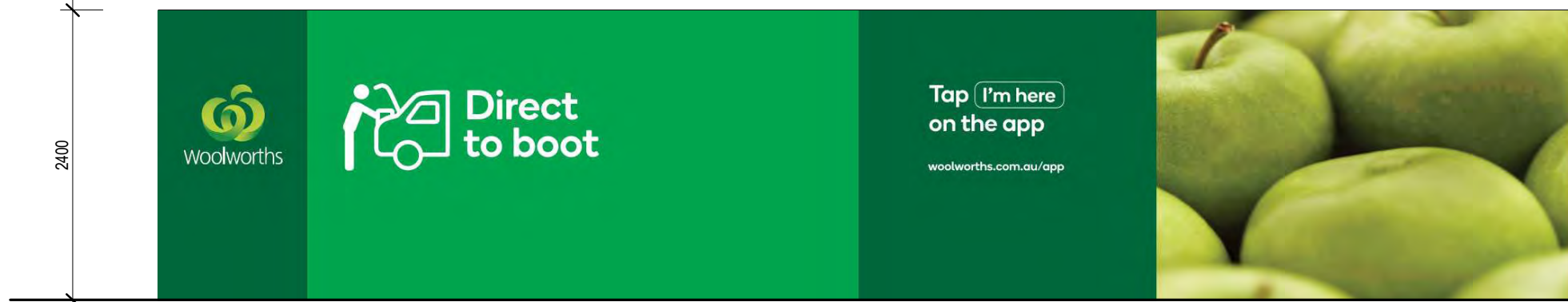
DIRECT TO BOOT EXIT SIGN
SCALE: 1 : 25



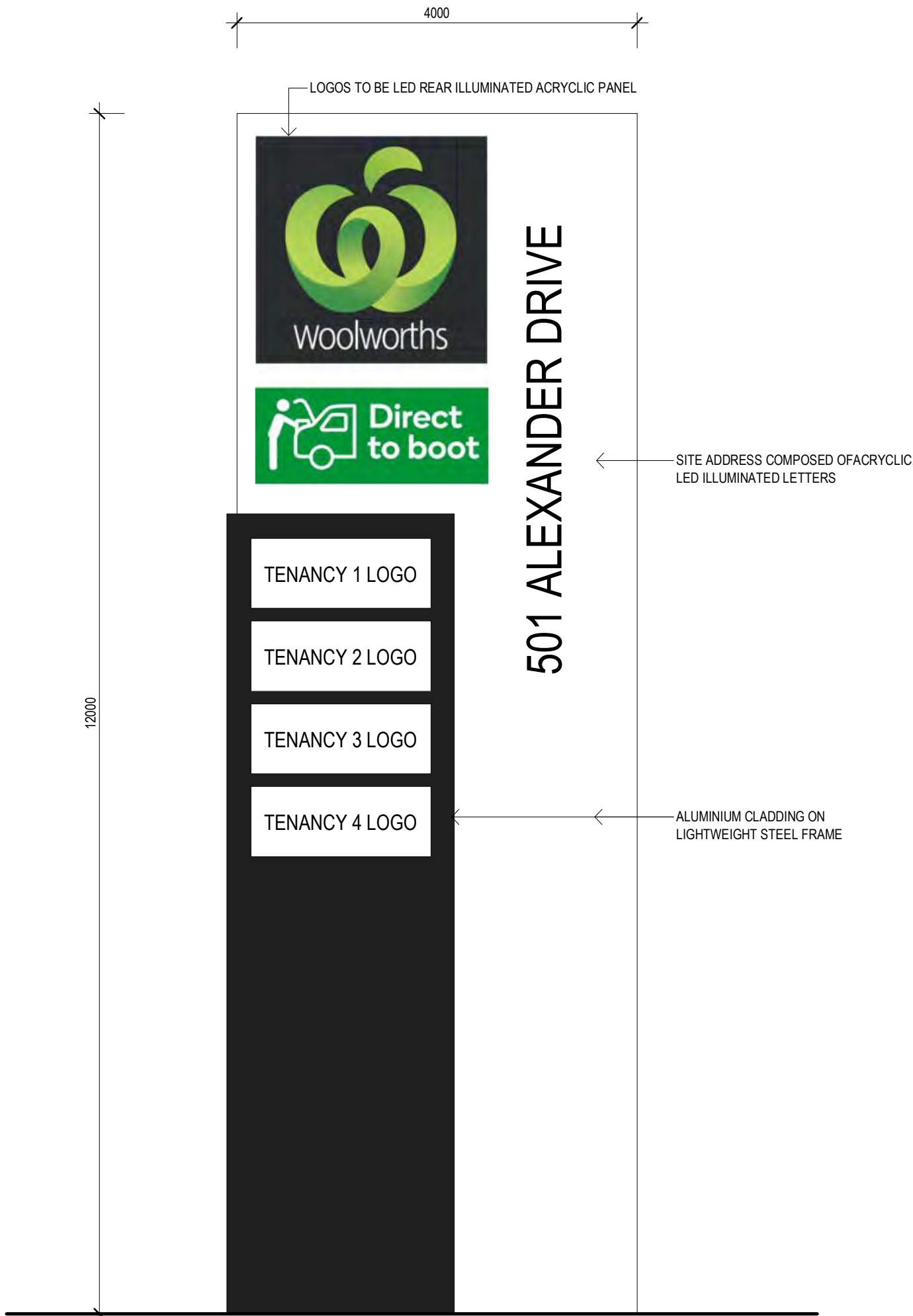
DIRECT TO BOOT SCREEN SIGN
SCALE: 1 : 50



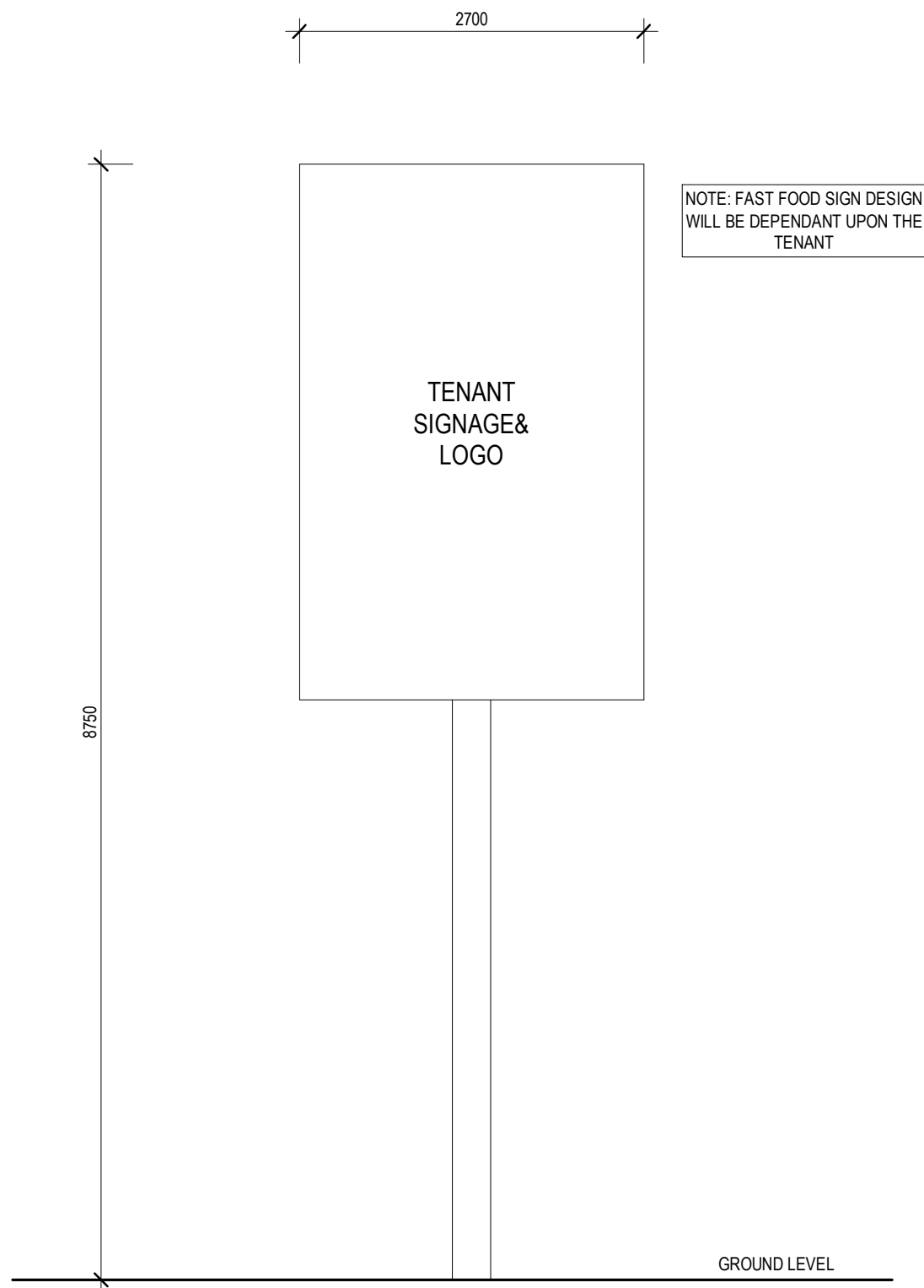
FREESTANDING BLADE TRAFFIC SIGN - C14
SCALE: 1 : 25



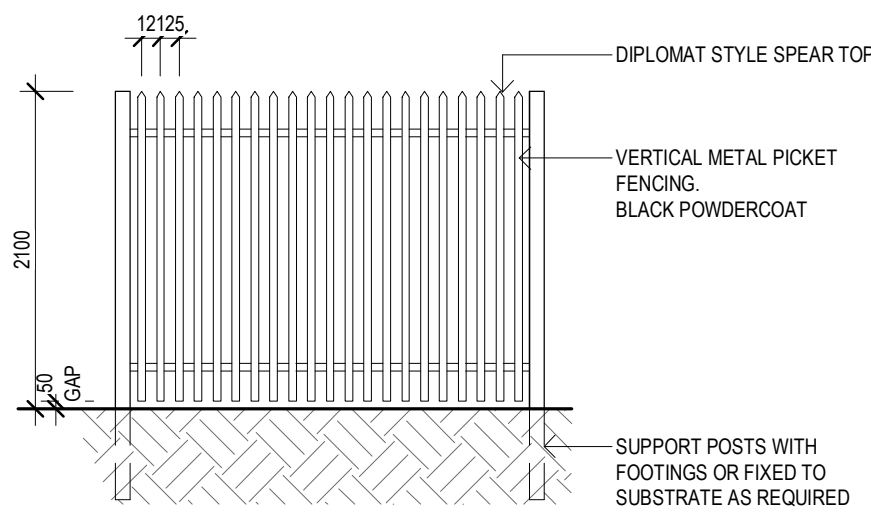
DIRECT TO BOOT WALL DECALS
SCALE: 1 : 50



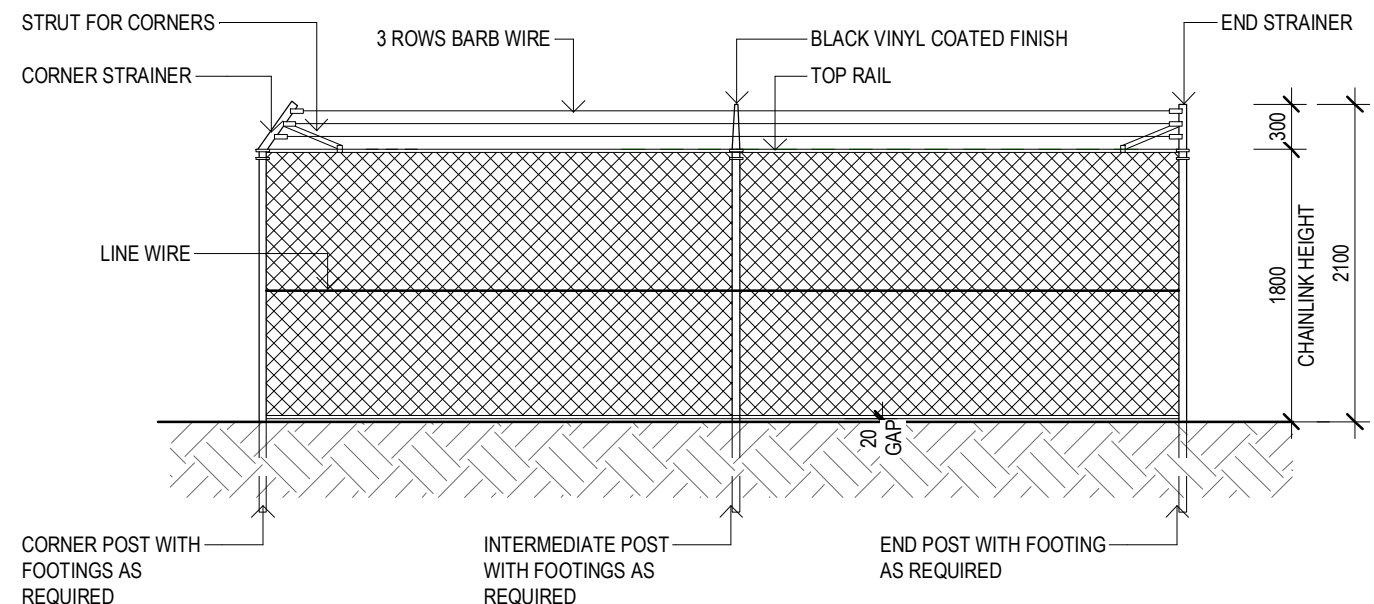
PYLON SIGN
SCALE: 1 : 50



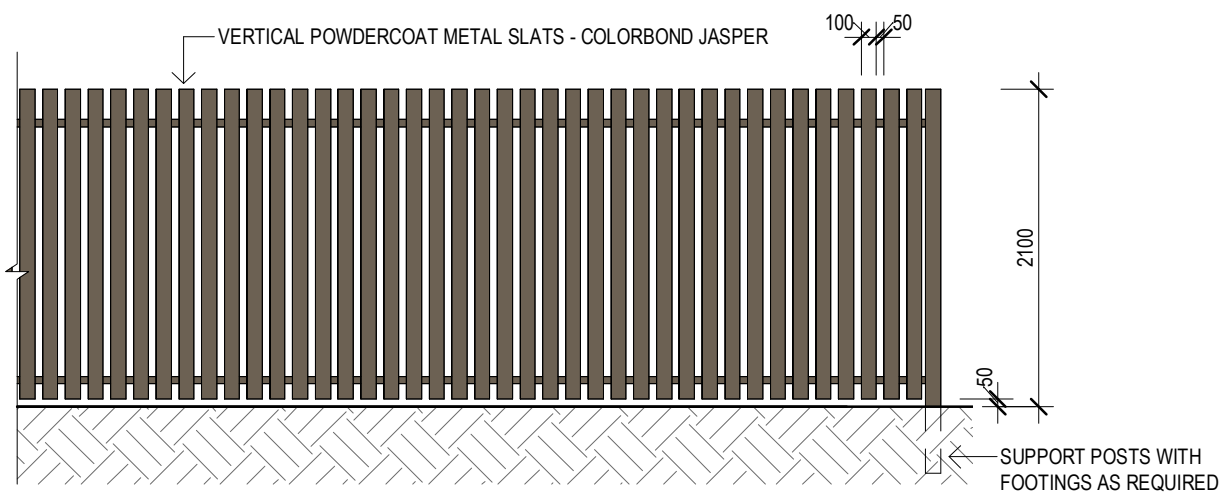
FAST FOOD PYLON SIGN
SCALE: 1 : 50



FN1 - PALISADE FENCE DETAIL
SCALE: 1 : 50



FN2 - CYCLONE WIRE FENCE DETAIL
SCALE: 1 : 50



FN3 - SLAT FENCE DETAIL
SCALE: 1 : 50

No.	DATE	REVISION	BY	CHK
P2	23.08.2023	PRELIMINARY ISSUE	AB	
P3	08.09.2023	PRELIMINARY ISSUE	AB	
P4	01.11.2023	PRELIMINARY DA ISSUE	AB	
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PROJECT:
PROPOSED INDUSTRIAL DEVELOPMENT
LOT 803 ALEXANDER DRIVE, MIRRABOOKA

TITLE:
SIGNAGE AND FENCE DETAILS

CLIENT:
PRODUCED FOR FABCOT

DATE: JUNE 2023
DRAWN BY: AB
SCALE: As indicated @ A1
SCALE:

JOB NO:	22386
DRAWING NO:	TP20
REVISION:	B

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Surface features and levels have been surveyed to assist with proposed engineering design. Where applicable, positional and height accuracy adheres to the MRWA standard 67-08-43 for Digital Ground Surveys. Above ground indicators (markers) of underground services are located where visible. Third parties utilising this information should confirm the capture accuracies meet requirements prior to use. This note is an integral part of this plan

801

H21-79
X 55866.143
Y 273275.080
Z 43.907

ALEXANDER DRIVE

803

▲ 34929
500

A	Initial Issue	ANA	02/08/2023	TAV
Rev.	Description	Drawn	Date	Checked

Surveyor:- ANA
Survey Date:- 02/08/2023
Precal/Cad:- 15/06/2023



MIRRABOOKA
Lot 803 ALEXANDER DRIVE
DETAIL SURVEY

CLIENT:

HESPERIA

The contents of this plan are current and correct as of the date stated within the revision panel. All consultants and persons wishing to utilise this data should satisfy themselves of this plans currency by contacting the McMullen Nolan Group.

SCALE 1:1000 @ A3

0 10 20 30 40 50

ALL DISTANCES ARE IN METRES

For a true to scale reproduction of this plan, plot it to A3 with the Paging Scaling set to None.

The boundaries shown on this plan were not re-established as part of this survey, therefore this plan does not guarantee their accuracy. Existing easements, encumbrance or interest are not depicted and a title search is recommended to obtain this information. Re-establishment of the cadastral boundaries is recommended for any proposed works on or near existing boundaries.



MCMULLEN NOLAN GROUP
Level 1, 2 Sabre Crescent
Jandakot, W.A. 6164
PO Box 3526, Success
W.A. 6964, Australia
Offices in: Perth | Melbourne | Kimberley | South West WA

Tel: (08) 6436 1599
Fax: (08) 6436 1500
info@mngsurvey.com.au
www.mngsurvey.com.au
ABN 90 009 363 311

Tel: (08) 6436 1599
Fax: (08) 6436 1500
info@mngsurvey.com.au
www.mngsurvey.com.au
ABN 90 009 363 311
South West WA

Project Mngnr.	Trevor Veen	Datum	PCG94 / AHD
102450 - DE - 045 - D			
Job Number	Type	Plan Number	Revision

