

Design Review Report – Item 1

Local government:	City of Stirling	
Item no.:	Item 1 – DA21/1723 – 8, 10, 10A Chesterfield Road, Mirrabooka – Development Assessment Panel – Form 1 – Mixed Use Development	
Chairperson:	Emma Williamson	
Panel members:	Tony Blackwell Stephen Carrick Jackson Liew	
Local government officers:	Giovanna Lumbaca Dean Williams Cameron Howell Simone Palmer	Coordinator Planning Senior Planning Officer Senior Planning Officer DRP Support Officer
Observers		
Date:	26 May 2022	Time: 2pm
Venue:	City of Stirling via Zoom	

Proponent/s		
	Mathew Cain Jonathan Cohen Frank Giannasi Pride Pavicic	Planning Solutions (<i>Applicant</i>) Planning Solutions Building Workshop Building Workshop
	Owners	Mainstreet Properties
Observer/s		

Briefings		
Development assessment overview	Cameron Howell	Senior Planning Officer
Technical issues	Cameron Howell Dean Williams	Senior Planning Officer Senior Planning Officer
Design Review		
Proposed development	Item 1 – DA21/1723 – 8, 10, 10A Chesterfield Road, Mirrabooka – Development Assessment Panel – Form 1 – Mixed Use Development	
Property address	8, 10 and 10A Chesterfield Road, Mirrabooka	
Background		
Proposal		
Applicant or applicant's representative address to the design review panel	Matthew Cain	Planning Solutions
Key issues / recommendations	The Panel thank the Applicant for their presentation. The project typology will be a significant asset to the neighbourhood, creating a unique combination of residential and commercial uses.	

	The Panel maintains concerns in relation to the pedestrian experience, the dominance of the vehicle in the design response and the capacity of the design to deliver a quality urban experience and amenity to residents. Critical to the success of the project will be the delivery of both residential and commercial product in the first stage of the design. Sustainability remains an area that is underdeveloped in the proposal and the applicant is urged to expand the consultant team to include a qualified sustainability consultant. Refer to attached Design Quality Evaluation Report.
Chairperson signature	

Design quality evaluation Item 1 – DA21/1723 – 8, 10 and 10A Chesterfield Road Mirrabooka – Development Assessment Panel – Form 1 – Mixed Use Development DRP Meeting – Thursday 26 May 2022	
	<i>Design Principle satisfied</i>
	<i>Design Principle pending further attention</i>
	<i>Design Principle not satisfied</i>
Principle 1 Context and character	<i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>
	1a. It was stated by the Panel it is good to see renewed renders and increased activation to the edges. 1b. The Panel commented it would have been beneficial if sections through were provided to assist with understanding opportunities which exist in relation to the level changes and description of shared spaces. 1c. Further detail was requested by the Panel in relation to the ramping onto Chesterfield Road specifically the extent of glass balustrading and the impact on the existing context. 1d. It was stated by the Panel the address to Yirrigan Drive could be improved to better respond to the future context of the neighborhood.
Principle 2 Landscape quality	<i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i>
	2a. The Panel requested further clarification in relation to the true deep soil calculations throughout the proposal. 2b. The Panel expressed concern in relation to the extent of paving as this will have a detrimental impact on the urban heat island effect. Wherever possible paving and hard surfaces should be minimised. 2c. Comment was made by the Panel there is a missed opportunity in the failure to retain most existing trees on the site. 2d. The Panel stated it is important to have confidence around the render of the internal streets, this is particularly the case when considering the size of trees that will be planted within the development.
Principle 3 Built form and scale	<i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i>
	3a. The Panel expressed a degree of comfort with the overall scale of the development. 3b. The Panel suggested applying further thought to find ways to give priority to the pedestrian experience. The proposal is currently vehicle dominant and there is a lot of car penetration into the site. 3c. The Panel questioned the proposed one way access from Chesterfield Road, noting that this could have greater impact as a pedestrian only space. 3d. The Applicant was encouraged to think about the arrangement of the tavern and commercial tenancies within the site noting that the current arrangement poses potential acoustic issues in terms of the tavern proximity to the residential development. 3e. It was suggested by the Panel it may be beneficial to move the playground closer to the residential development.
Principle 4 Functionality and build quality	<i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i>
	4a. Concern was raised by the Panel in relation to the functional challenges of the apartment and commercial tenancies sharing access points. 4b. The Panel urge the applicant to push the opportunity of maximizing the landscaping whilst maintaining functionality. 4c. It was mentioned by the Panel there has not been significant changes in the

	functionality of the units in relation to the internal bathrooms and the size of the rooms. Comments from the previous DRP remain. 4d. The Panel reiterated their concern in relation to the impact of structure on the proposed parking layout of apartments.
Principle 5 Sustainability	<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i>
	5a. The Panel commended the Applicant on the inclusion of the EV bays. 5b. The Applicant is strongly encouraged to engage the services of a sustainability consultant to ensure an integrated approach to sustainability. 5c. The Panel recommended the Applicant makes a commitment to sustainability as there is currently intent only. 5d. It was stated by the Panel sustainability should be a minimum of 4 stars but the Applicant was encouraged to be more ambitious. 5e. There was concern expressed by the Panel around the heat island effect as a result of the extent of the hardscape proposed. 5f. The Panel stressed the expectation of providing sustainability strategies and commitments through a combined approach to material selection, waste management, passive and active design initiatives.
Principle 6 Amenity	<i>Good design optimises internal and external amenity for occupants, visitors and neighbours providing environments that are comfortable, productive and healthy.</i>
	6a. Concern was expressed by the Panel around privacy and overlooking issues for some apartments. 6b. The Panel questioned the lack of development in relation to the communal open space and stated there is opportunity for further thought and development in relation to amenity and privacy. 6c. Concern was expressed by the Panel in relation to the size of some living spaces, bedrooms and kitchens. SPP7.3 provides guidance in relation to minimum sizes. 6d. The suggestion was made by the Panel to give more consideration to the true amenity of the alfresco area of the GYG tenancy.
Principle 7 Legibility	<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around</i>
	7a. The Panel showed concern around the legibility of the northern residency and commented access into the residential apartment from the internal roadway is problematic and there is no signage to the stairs or the lift. 7b. Comment was made by the Panel commercial tenancy 2's access way is overlapping with the apartment entry.
Principle 8 Safety	<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
	8a. The Panel commented the 20km speed limit introduced in this review is an improvement. 8b. There was concern shown by the Panel in relation to the lack of surveillance behind tenancy 7 and 8. 8c. The Panel commented the conflicting entry points is problematic and is a safety issue. 8d. The Panel requested further information to describe alternative ways to create safe pedestrian and vehicle share zones.
Principle 9 Community	<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>
	9a. The Panel do not support a strategy that delivers the residential component of the development in a second stage. Delivery of the residential units is considered fundamental to achieving a positive outcome for the community. Achieving a strong streetscape along Chesterfield Road is considered critical to

	the success of the project. 9b The Panel noted the opportunity to increase the amenity of the proposed communal areas for the residential development.
Principle 10 Aesthetics	<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>
	10a. Comment was made by the Panel to consider the impacts of the aesthetics of the eaves, gutters and downpipes. These should be included on renders of the project. 10b. The Panel suggested further developing the combination of finishes and colours. 10c. The Panel encourage the applicant to consider the tactility of materials and the benefit of these to a project that is developing a human scaled and centered neighborhood. 10d. The Panel stated the use of coloured glass and angled steel needs further refinement.

Design Review progress DA21/1723 – 8, 10 and 10A Chesterfield Road Mirrabooka Thursday 26 May 2022			
	<i>Design Principle satisfied</i>		
	<i>Design Principle pending further attention</i>		
	<i>Design Principle not satisfied</i>		
	DR1 25/11/2021	DR2 26/5/2022	DR3
Principle 1 - Context and character			
Principle 2 - Landscape quality			
Principle 3 - Built form and scale			
Principle 4 - Functionality and build quality			
Principle 5 - Sustainability			
Principle 6 - Amenity			
Principle 7 - Legibility			
Principle 8 - Safety			
Principle 9 - Community			
Principle 10 - Aesthetics			

Recommendations Summary**Item 1 – DA21/1723 – 8, 10 and 10A Chesterfield Road Mirrabooka**

DR1 – DRP Recommendations DRP Meeting – 25/11/2021	DR2 – Applicant Response DRP Meeting – 25/11/2021	DR2 DRP Recommendations DRP Meeting – 26/5/2022	DR2 – Applicant Response DRP Meeting – 26/5/2022
1b. The Panel encouraged the Applicant to consider activation on all the edges, ensuring that large blank walls are avoided, and articulation of the streetscapes is achieved.		1b. The Panel commented it would have been beneficial if sections through were provided to assist with understanding opportunities which exist in relation to the level changes and description of shared spaces. 1c. Further detail was requested by the Panel in relation to the ramping onto Chesterfield Road specifically the extent of glass balustrading and the impact on the existing context. 1d. It was stated by the Panel the address to Yirrigan Drive could be improved to better respond to the future context of the neighborhood.	
2a. The Panel strongly recommended a site survey be carried out to assist with understanding the entire site and the opportunities for the retention of existing trees near tenancy 11 in the northeast corner. 2b. The Panel recommended engaging the services of a landscape architect and requested a detailed landscape		2a. The Panel requested further clarification in relation to the true deep soil calculations throughout the proposal. 2b. The Panel expressed concern in relation to the extent of paving as this will have a detrimental impact on the urban heat island effect. Wherever possible paving and hard surfaces should be minimised.	

plan and arborist report. 2d. The Panel suggested softening of the edges of the site through additional landscaping. 2e. The Panel encouraged the Applicant to prioritize the pedestrian experience in the design of the road network, hardscape and landscape. The inter-relationship of these elements could be useful in creating shared spaces that prioritize pedestrians.		2c. Comment was made by the Panel there is a missed opportunity in the failure to retain most existing trees on the site. 2d. The Panel stated it is important to have confidence around the render of the internal streets, this is particularly the case when considering the size of trees that will be planted within the development.	
3b. The Panel emphasized the importance of the trading frontage on Chesterfield Road and encouraged the Applicant to ensure the building design is appropriate to the use and activation.		3b. The Panel suggested applying further thought to find ways to give priority to the pedestrian experience. The proposal is currently vehicle dominant and there is a lot of car penetration into the site. 3d. The Applicant was encouraged to think about the arrangement of the tavern and commercial tenancies within the site noting that the current arrangement poses potential acoustic issues in terms of the tavern proximity to the residential development. 3e. It was suggested by the Panel it may be beneficial to move the playground closer to the residential development.	

4b. The Panel requested clarification in relation to structural resolution, specifically the need for columns and / or transfer beams in the basement which could end up putting more pressure on the site. 4d. The Panel requested sections illustrating the functionality of the streetscape interface.		4b. The Panel urge the applicant to push the opportunity of maximizing the landscaping whilst maintaining functionality. 4c. It was mentioned by the Panel there has not been significant changes in the functionality of the units in relation to the internal bathrooms and the size of the rooms. Comments from the previous DRP remain.	
5a. The Panel encouraged the Applicant to explore options and look at ways to incorporate additional initiatives and make a commitment to sustainability. 5b. The Panel noted this principle has not been adequately addressed and requests further information in relation to a detailed sustainability strategy being provided at the next meeting. 5c. The Applicant was encouraged to engage the services of a sustainability specialist at an early stage. 5b. The Panel suggested thinking creatively in relation to the apportionment of car and bike bays.		5b. The Applicant is strongly encouraged to engage the services of a sustainability consultant to ensure an integrated approach to sustainability. 5c. The Panel recommended the Applicant makes a commitment to sustainability as there is currently intent only. 5d. It was stated by the Panel sustainability should be a minimum of 4 stars but the Applicant was encouraged to be more ambitious. 5f. The Panel stressed the expectation of providing sustainability strategies and commitments through a combined approach to material selection, waste management, passive and	

		active design initiatives.	
6a. The Panel requested further information and clarification around waste management in relation to the tenancies. 6e. The Panel request apartment layouts with furniture at future presentations to understand the amenity of the layouts.		6b. The Panel questioned the lack of development in relation to the communal open space and stated there is opportunity for further thought and development in relation to amenity and privacy. 6c. Concern was expressed by the Panel in relation to the size of some living spaces, bedrooms and kitchens. SPP7.3 provides guidance in relation to minimum sizes. 6d. The suggestion was made by the Panel to give more consideration to the true amenity of the alfresco area of the GYG tenancy.	
7b. Comment was made by the Panel that the Guzman and Gomez (G&G) proposal falls short on the language of the brand, the quality of other developments by the same company, and articulation of the building form generally. The Panel recommend the exploration of opportunities for this building to be developed by the G&G preferred architect.			
8a. Concern was expressed by the Panel around the safety of the internal streets and shared		8d. The Panel requested further information to describe alternative ways to create	

spaces. The Panels' suggestion was to reduce the speed limit to 20kph.		safe pedestrian and vehicle share zones.	
9c. The Panel suggested that the retaining wall on Chesterfield Road could be developed further as community infrastructure.		9a. The Panel do not support a strategy that delivers the residential component of the development in a second stage. Delivery of the residential units is considered fundamental to achieving a positive outcome for the community. Achieving a strong streetscape along Chesterfield Road is considered critical to the success of the project. 9b The Panel noted the opportunity to increase the amenity of the proposed communal areas for the residential development.	
10b. The Panel requested further clarity around the material palette of the project. 10c. It was noted by the Panel that issues in relation to aesthetics may arise once guttering and down pipes are taken into consideration. Renders should be produced that reflect the impact of these on the design. Simplification of the roof form could assist with this.		10a. Comment was made by the Panel to consider the impacts of the aesthetics of the eaves, gutters and downpipes. These should be included on renders of the project. 10b. The Panel suggested further developing the combination of finishes and colours. 10c. The Panel encourage the applicant to consider the tactility of materials and the benefit of these to a project that is developing a human	

		scaled and centered neighborhood. 10d. The Panel stated the use of coloured glass and angled steel needs further refinement.	
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BUILDING WORKSHOP

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UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

[illegible]

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

PERSPECTIVES

PART 1

PROJECT NUMBER	Project Number
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DATE	Issue Date
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A1 SIZE SHEET

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REV
2

SCALE

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STREET VIEW FROM CHESTERFIELD ROAD LOOKING SOUTH

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STREET VIEW FROM CHESTERFIELD ROAD LOOKING NORTH EAST

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NO.	DESCRIPTION	DATE
1	Development Application Council issue	20.09.21
2	Perspective updated to suit Council RFI amendments	06.05.22

Project Address
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Chesterfield Road , Mirrabooka

Owner
**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

PERSPECTIVES
PART 2

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET	
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Chesterfield Road , Mirrabooka

Owner

PROPOSED
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MIRRABOOKA
TAVERN SITE

PERSPECTIVES PART 4

PROJECT NUMBER	Project Number
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DATE	Issue Date
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A1 SIZE SHEET

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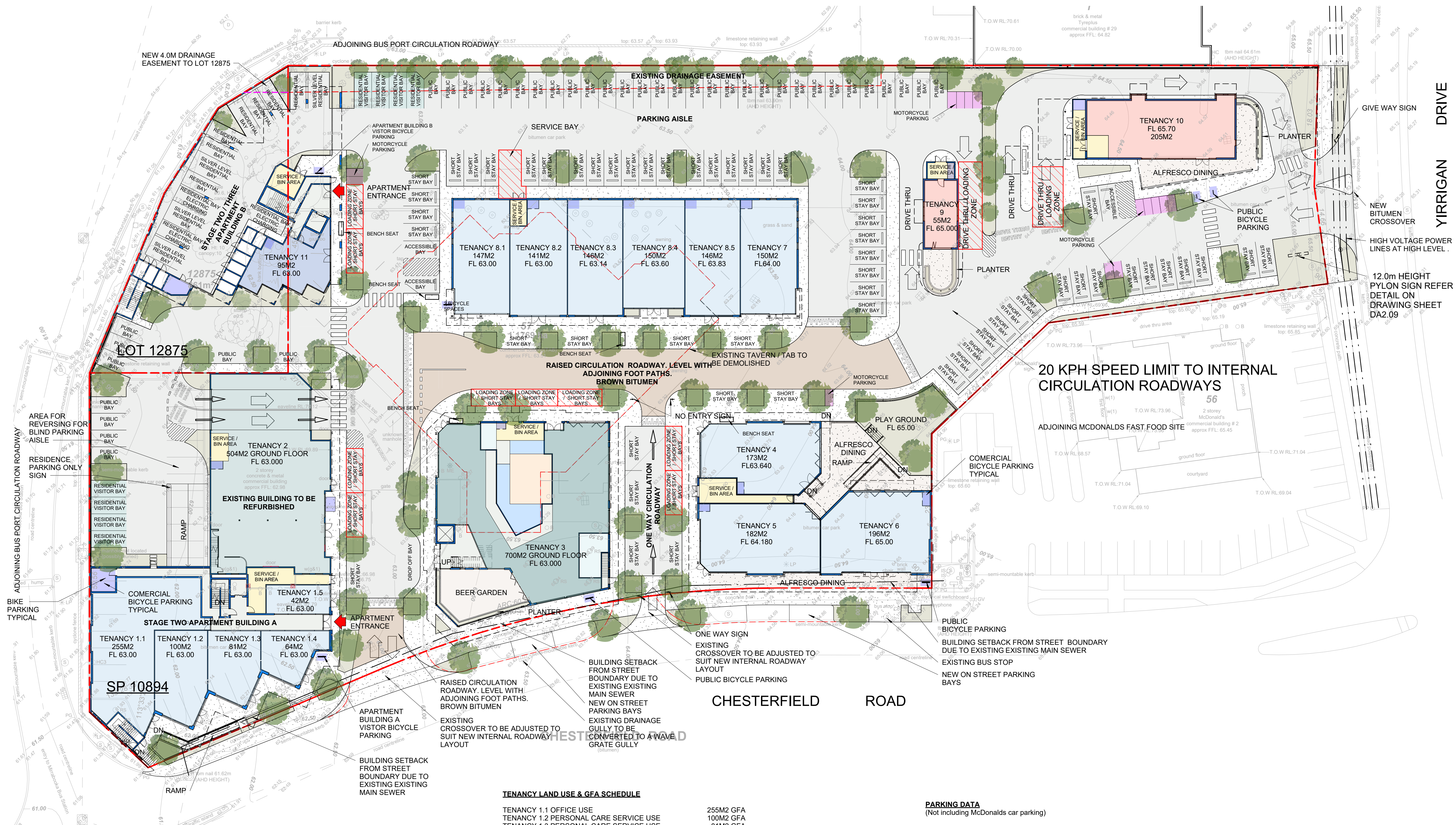
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INTERNAL STREET VIEW TAVERN ENTRANCE

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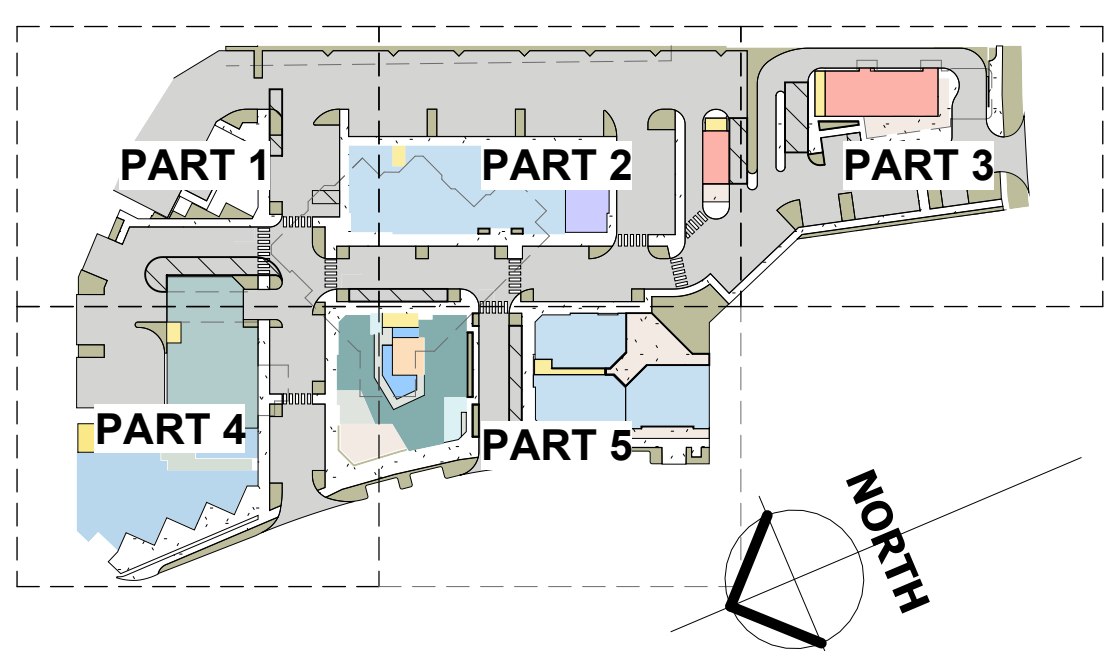
1 SITE & GROUND FLOOR PLAN
1 : 300

TENANCY LAND USE & GFA SCHEDULE

TENANCY 1.1 OFFICE USE	255M2 GFA
TENANCY 1.2 PERSONAL CARE SERVICE USE	100M2 GFA
TENANCY 1.3 PERSONAL CARE SERVICE USE	81M2 GFA
TENANCY 1.4 PERSONAL CARE SERVICE USE	64M2 GFA
TENANCY 1.5 PERSONAL CARE SERVICE USE	42M2 GFA
TENANCY 2 (EXISTING BUILDING) DRIVE THRU LIQUOR STORE SHOP USE GROUND FLOOR FIRST FLOOR	504M2 GFA 137M2 GFA
TENANCY 3 TAVERN USE / RECEPTION CENTRE USE GROUND FLOOR FIRST FLOOR	700M2 GFA (TAVERN) 627M2 GFA (RECEPTION CENTRE INCLUDING BALCONIES)
TENANCY 4 RESTAURANT USE	173M2 GFA
TENANCY 5 RESTAURANT USE	182M2 GFA
TENANCY 6 RESTAURANT USE	196M2 GFA
TENANCY 7 PERSONAL CARE SERVICE USE	150M2 GFA
TENANCY 8.1 RECREATION - PRIVATE USE TENANCY 8.2 RECREATION - PRIVATE USE TENANCY 8.3 RECREATION - PRIVATE USE TENANCY 8.4 PERSONAL CARE SERVICE USE TENANCY 8.5 PERSONAL CARE SERVICE USE	147M2 GFA 141M2 GFA 146M2 GFA 150M2 GFA 146M2 GFA
TENANCY 9 DRIVE THRU COFFEE	55M2 GFA
TENANCY 10 DRIVE THRU FAST FOOD	205M2 GFA
TENANCY 11 OFFICE	95M2 GFA
TOTAL	4296M2 GFA

PARKING DATA
(Not including McDonalds car parking)

CAR PARKING	
TOTAL RESIDENTIAL BAYS	34
TOTAL RESIDENTIAL VISITOR BAYS	8
DROP OFF BAY	1
LOADING ZONE / SHORT STAY CAR BAYS	9
ACCESSIBLE CAR BAYS	3
ON STREET SHORT STAY CAR BAYS (CHESTERFIELD RD)	6
PUBLIC CAR BAYS	39
SHORT STAY CAR BAYS	58
TOTAL PUBLIC CAR BAYS	116
MOTORCYCLE PARKING	
TOTAL PUBLIC MOTORCYCLE BAYS	14
BICYCLE PARKING	
TOTAL RESIDENTIAL BICYCLE PARKING SPACES	16
TOTAL RESIDENTIAL VISITOR BICYCLE PARKING SPACES	4
TOTAL COMMERCIAL BICYCLE PARKING SPACES	31
TOTAL PUBLIC BICYCLE PARKING SPACES	10



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NO.	DESCRIPTION	DATE
7	Consultant update drawing issue	03.09.21
8	Issued for information.	14.09.21
9	Development Application Council issue	20.09.21
10	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations. Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5.8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
11	Council RFI changes, Internal roadway / loading zone / car bay arrangement amended, short stay bays noted, crossovers arrangements amended. Chesterfield on street parking arrangement amended, steps removed from adjacent footpath in front of tenancy 3.5 & 6, ramp added to front of tenancy 1.2, tenancy 10 drive thru lane amended, motorcycle parking amended, tenancy gross floor area schedule amended, parking data amended, planters added to tenancy 9 & 10, council foot paths increased in width.	13.04.22
12	Deep soil area added	27.04.22
13	Bottle shop line marking added, 20 kph speed limit noted, public car bays noted, electric charging bays noted	27.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

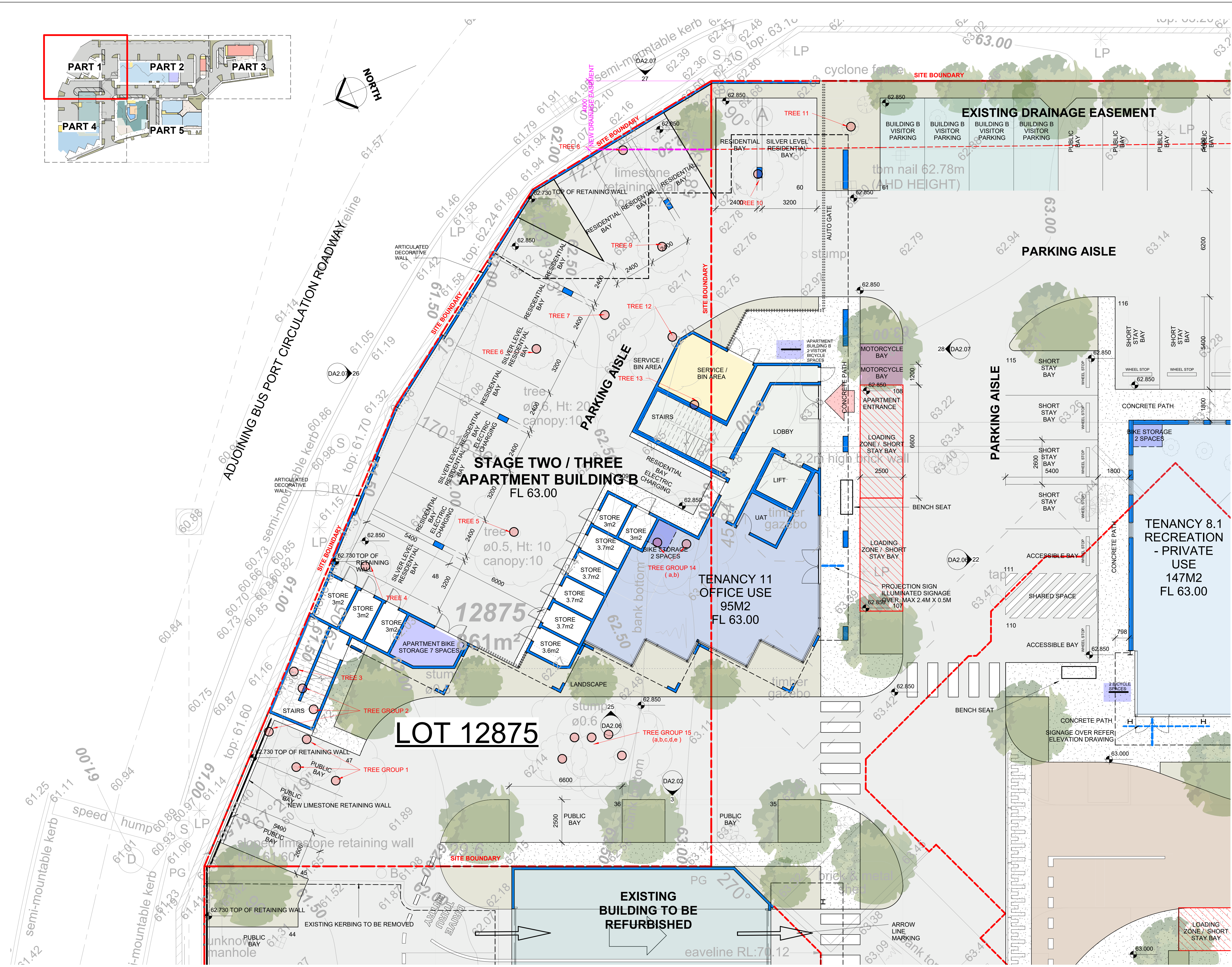
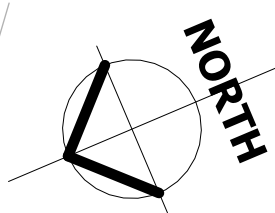
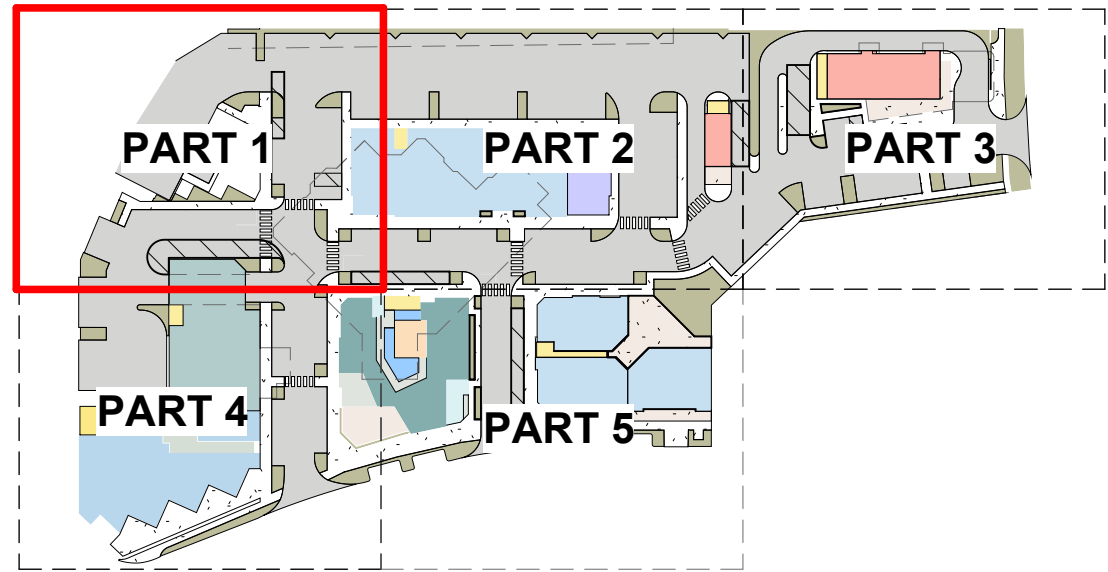
SITE PLAN & GROUND FLOOR PLAN

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET
DA01
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NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added. Tenancy 1 & 11 added.	20.08.21
3	Consultant update drawing issue	03.09.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations. Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5.8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
7	Issued to consultant	14.04.22
8	car bay arrangement amended, silver level car bays noted, dimensions added, store room arrangements amended, columns shown, electric charging bays noted, bike storage added lobby arrangement amended, existing trees referenced.	27.04.22

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PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

SITE & GROUND FLOOR PLAN PART 1.

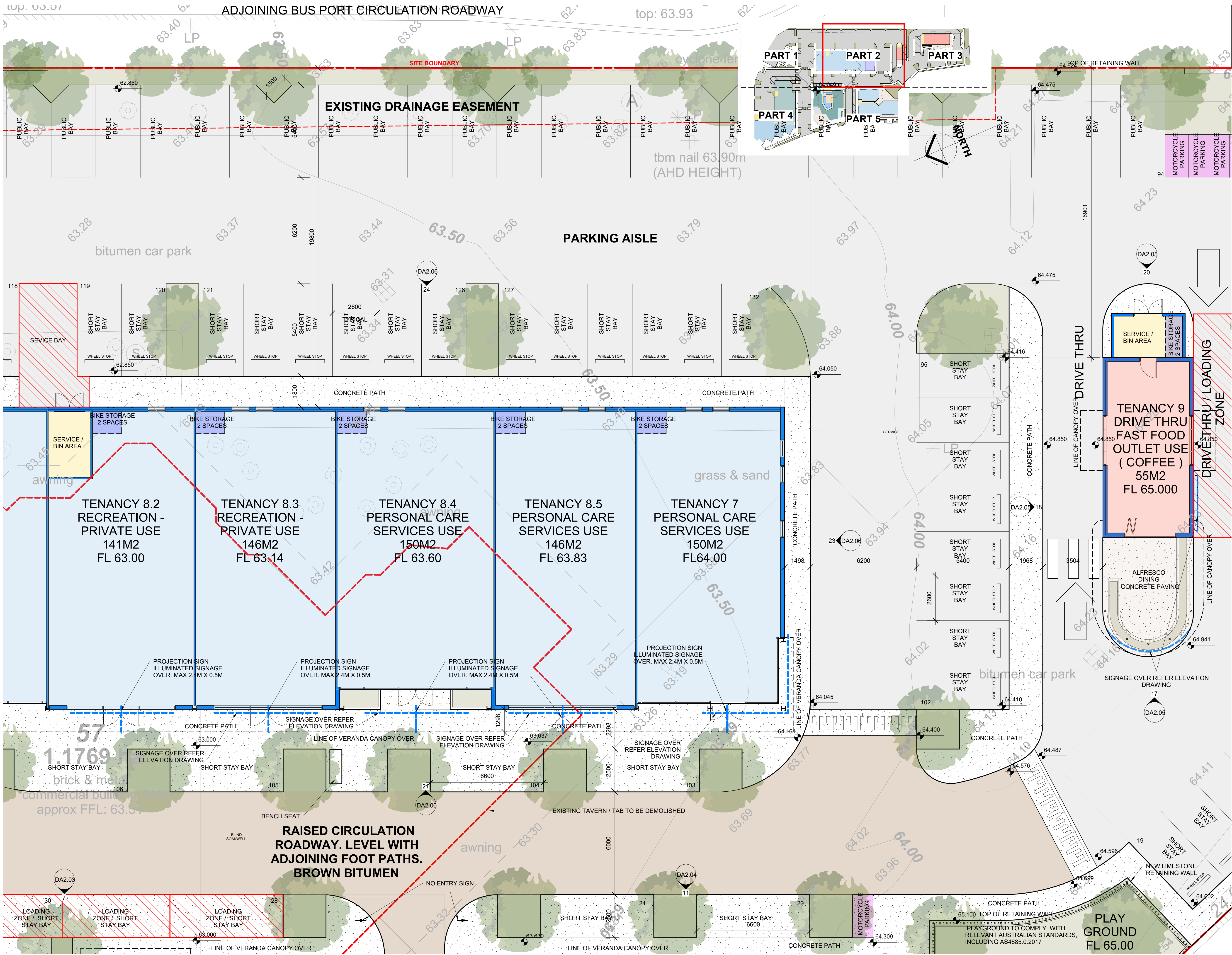
PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET

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7	Tenancy 8 broken up into smaller tenancies, portion of circulation roadway shown raised, car parking / landscaping arrangement amended, planter added to tenancy 9	29.04.22

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Owner
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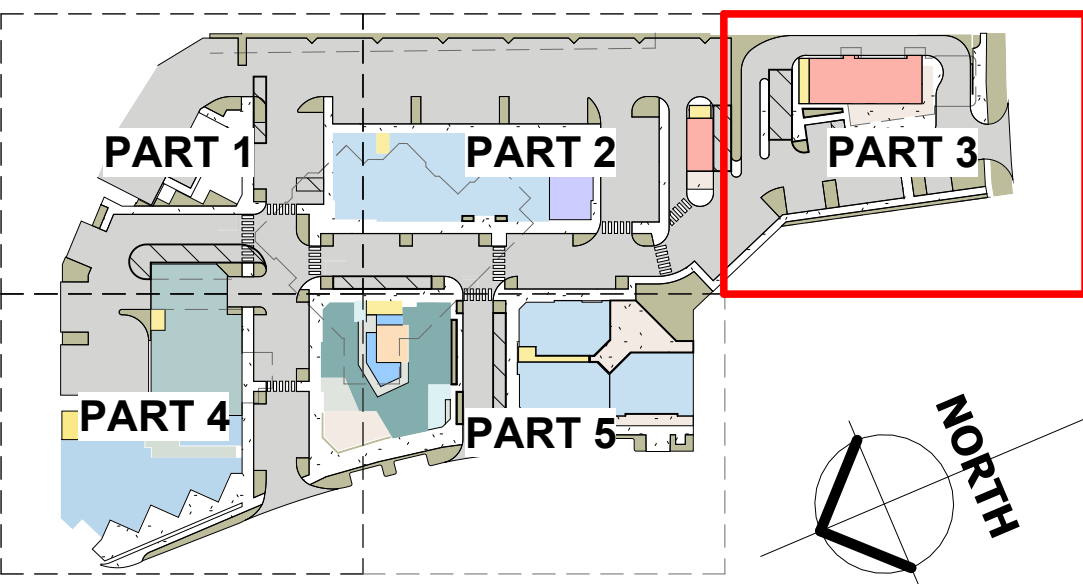
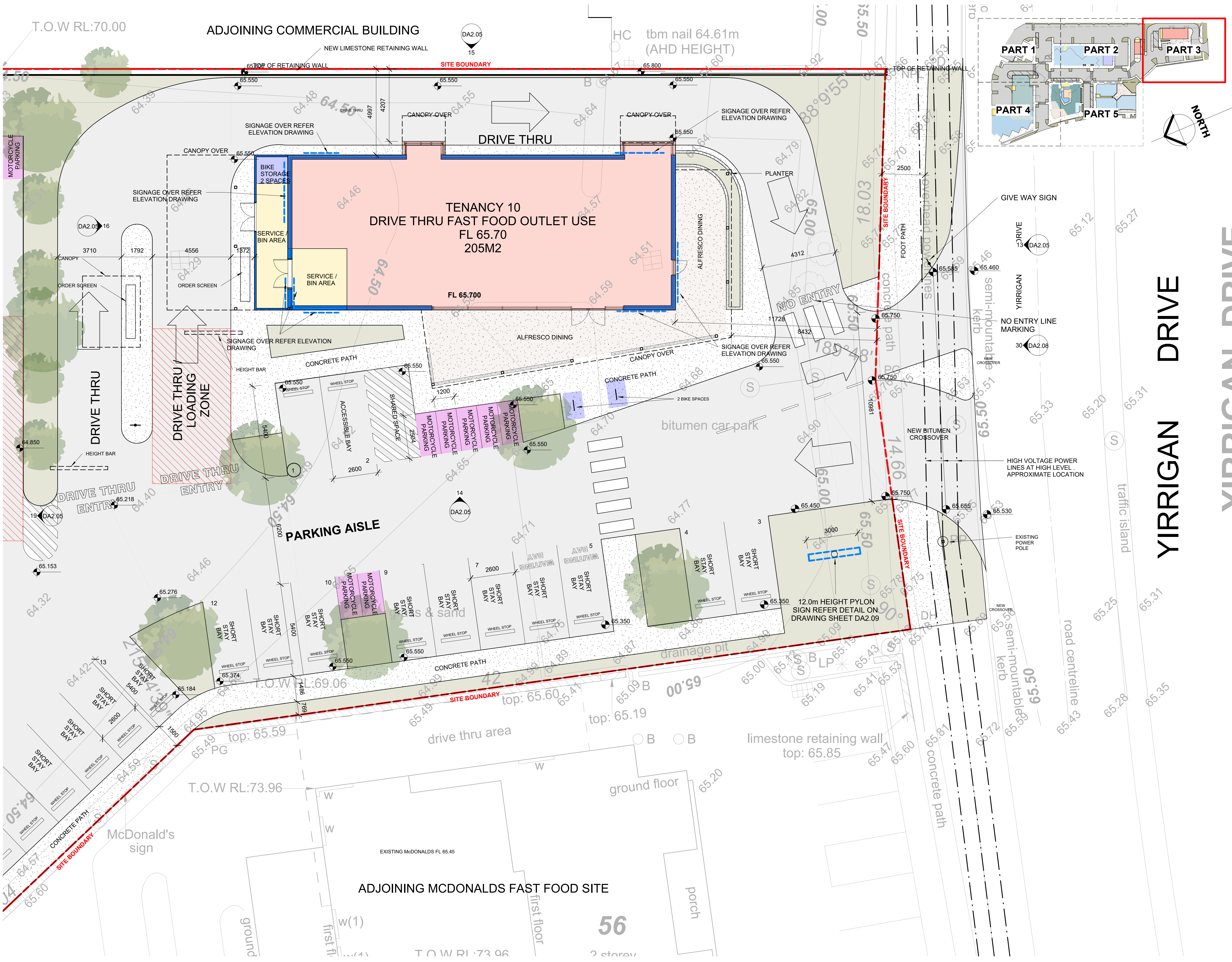
SITE & GROUND FLOOR PLAN PART 2.

PROJECT NUMBER
DATE
Project Number
Issue Date

A1 SIZE SHEET
DA01.2
REV 7

SCALE
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BUILDING WORKSHOP

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ABN

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UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
8	Car park and crossover arrangement amended, first floor shop front added in lieu of third party digital signage, GYG signage, line marking and graphics added, height bar and orderscreen locations shown, traffic signage and line marking added, GYG pylon sign added, GYG alfresco area amended to suit new car park layout, Pay and pick up awnings joined.	22.02.2022
9	Additional gyg graphics added to pay window walls, two additional directional signs added, waiting bay sign added.	09.03.22
10	Two storey portion of building deleted, GYG artwork graphics added, shopfront lengthened, alfresco area area to front of building increased in size, alfresco canopy arrangement amended to suit bin area relocated internally, service yard reduced in size, drive thru lane arrangement amended, waiting bay relocated, planter boxes added to tenancy 9 and 10, crossover arrangement amended, car park arrangement amended, pylon sign added, wall and creative roof signage amended	28.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road, Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

SITE & GROUND FLOOR PLAN PART 3.

PROJECT NUMBER

Project Number

DATE

Issue Date

A1 SIZE SHEET

DA01.3

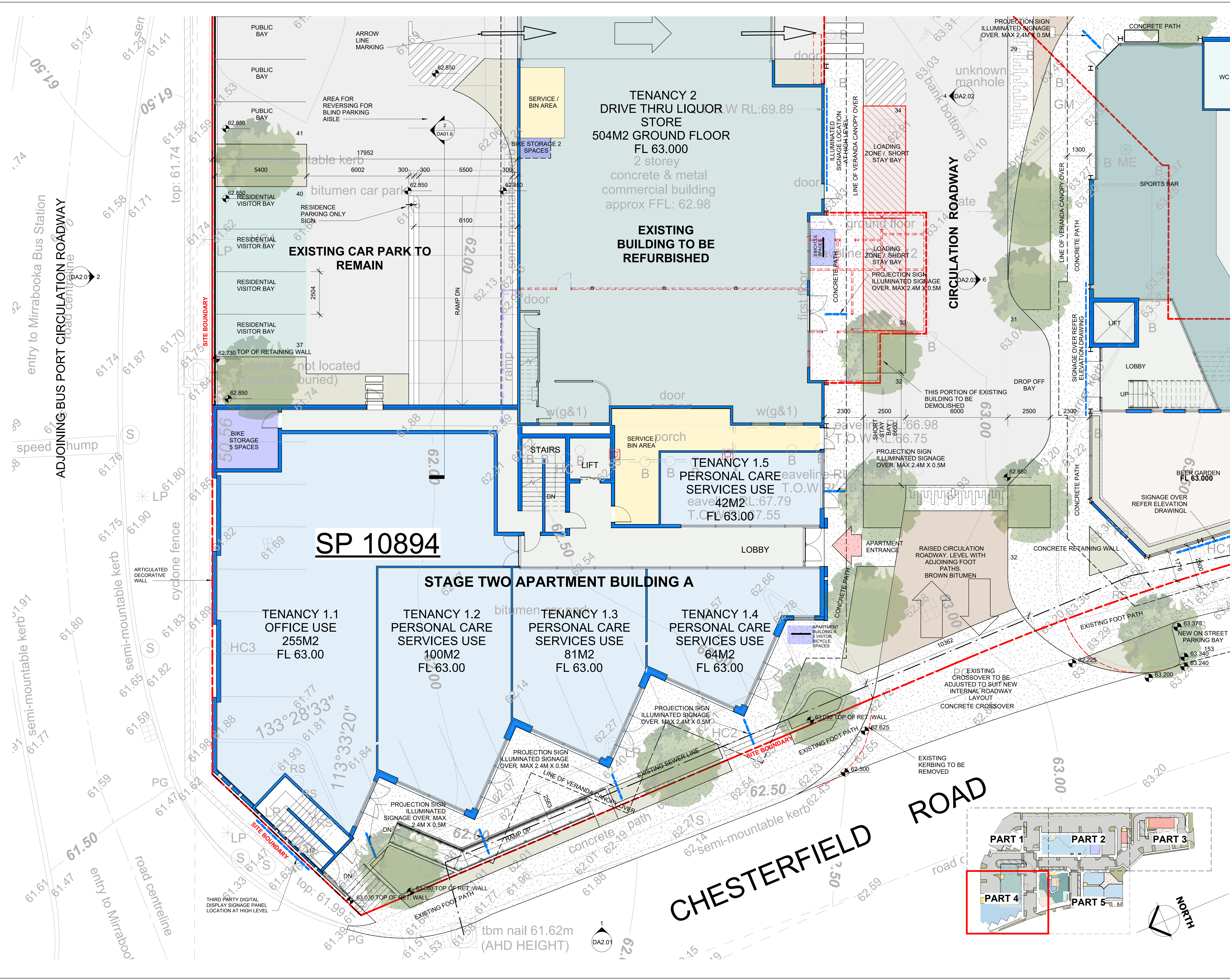
REV 10

SCALE

As indicated

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12/05/2022 4:10:34 PM



BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371

ABN

TEL: 08 - 9201 9555

74145135002

EMAIL: bw@buildingworkshop.com.au

UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added. Tenancy 1 & 11 added.	20.08.21
3	Consultant update drawing issue	03.09.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations. Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5.8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
7	Pedestrian ramp added to front setback area, crossover arrangement amended, apartment building A bin area arrangement amended, bike store added, ramp arrangement amended, car park / circulation roadway arrangement amended, landscaping arrangement amended, retaining walls to front setback area deleted	02.05.22

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner

PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

SITE & GROUND FLOOR PLAN PART 4.

PROJECT NUMBER

Project Number

DATE

Issue Date

A1 SIZE SHEET

DA01.4

REV 7

SCALE

As indicated

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RN 13371

NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
3	Consultant update drawing issue	03.09.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown	25.10.21

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

owner

SITE & GROUND FLOOR PLAN PART 5.

PROJECT NUMBER	Project Number
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DATE	Issue Date
------	------------

A1 SIZE SHEET

DA01.5

REV
7

SCALE	As indicated
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(bitumen)

CHESTERFIELD ROAD

tbm nail 65.17m
(AHD HEIGHT)

road centreline

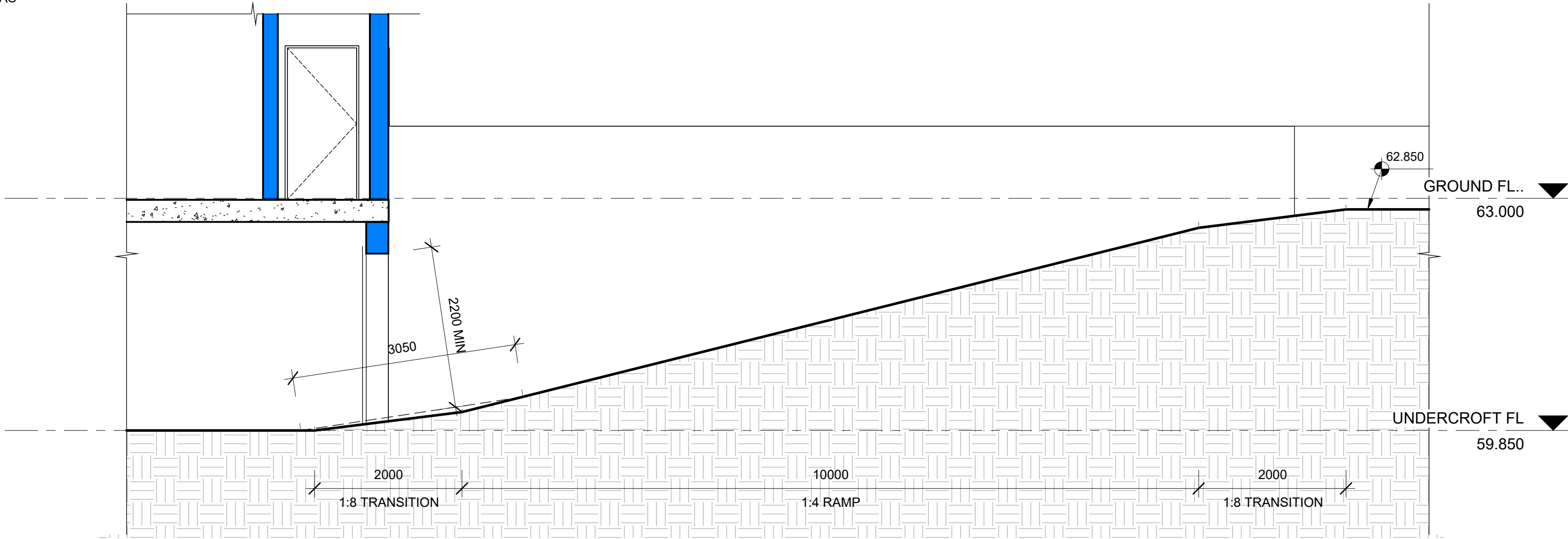
NORTH

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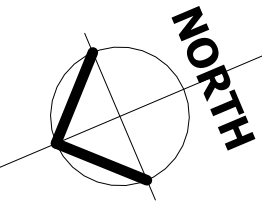
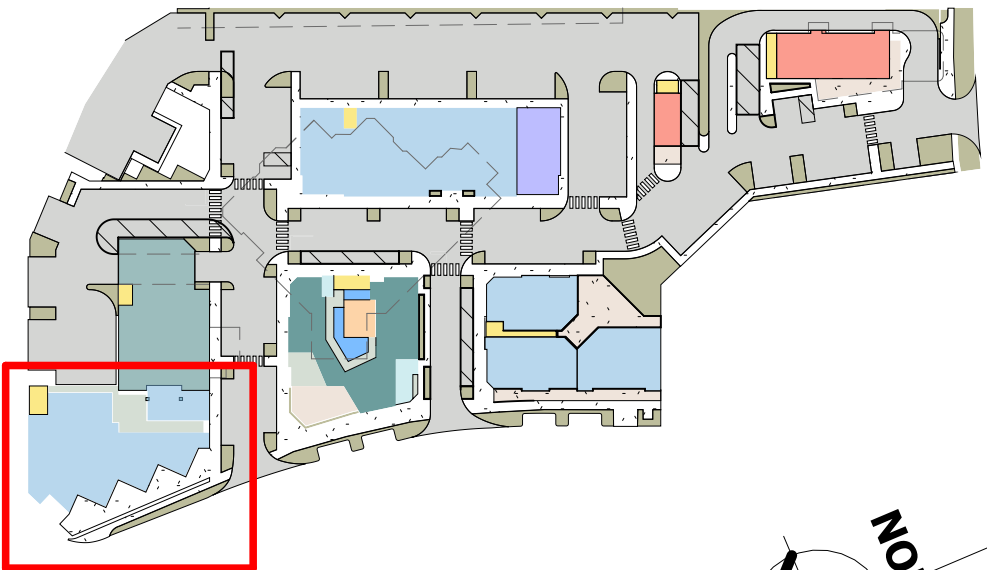
STAGE TWO
APARTMENT
BUILDING A



1 BASEMENT PARKING FLOOR PLAN
1 : 100



2 SECTION THRU RAMP
1 : 50



BUILDING
WORKSHOP

BRN 13371

REG. BUILDER NO. 13371 ABN
TEL: 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
3	Consultant update drawing issue	03.09.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	car bay arrangement amended, silver level car bays noted, dimensions added, pedestrian area line marking shown, ramp section added, bicycle parking increased, columns shown, electric charging bays noted.	26.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road, Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

BASEMENT PLAN APARTMENT BUILDING A, TENANCY 1 & TENANCY 2

PROJECT NUMBER Project Number
DATE Issue Date

A1 SIZE SHEET
DA01.6 REV 6

SCALE As indicated

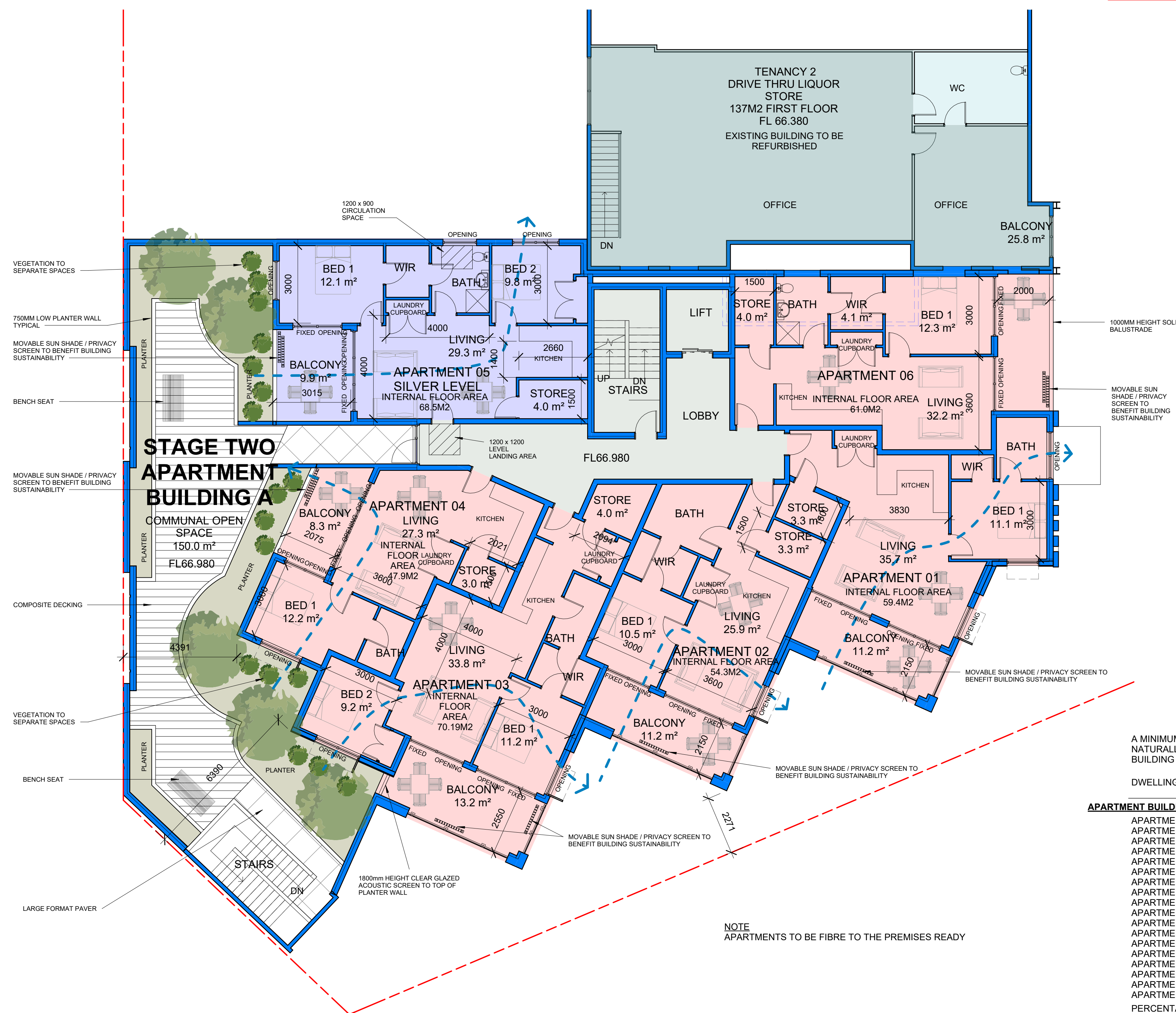
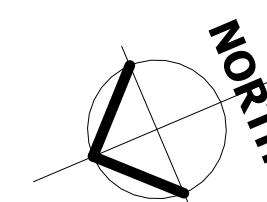
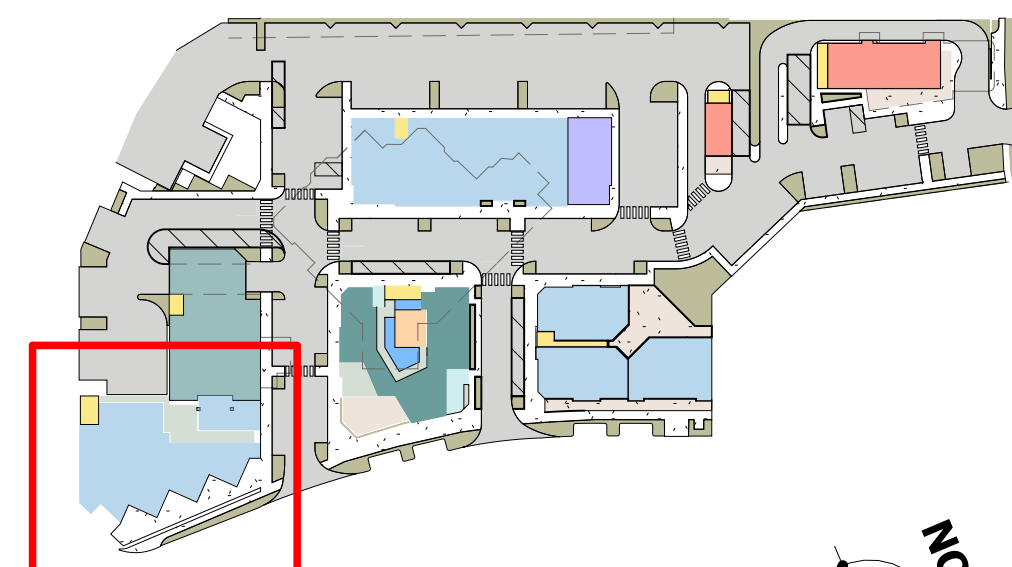
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BRN 13371

[illegible]

Owner

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A MINIMUM 60 PER CENT OF DWELLINGS ARE, OR ARE CAPABLE OF, BEING NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING

DWELLING NUMBER	NATURALY CROSS VENTILATED
<u>APARTMENT BUILDING A</u>	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 94.4%

<u>APARTMENT BUILDING B</u>	
APARTMENT 01	YES
APARTMENT 02	NO
APARTMENT 03	NO
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	NO
APARTMENT 10	NO
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 71.4%

1 FIRST FLOOR PLAN
1:100

BRN 13371

NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
3	Consultant update drawing issue	03.09.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations . Setback dims added to apartment building A , second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5,8 & alfresco dinning FL noted correctly on floor & site plan.	25.10.21
7	Council RFI changes, communal open space arrangement amended, silver level apartment mix amended, screening type to balconies noted, apartment internal areas noted, apartment arrangements amended to suit min area and dim requirements, furniture shown,	22.04.22

Owner

SECOND FLOOR
APARTMENT
BUILDING A

DATE	Issue Date
------	------------

REV
7

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DWELLING NUMBER	NATURALLY CROSS VENTILATED
1	1
2	1
3	1
4	1
5	1
6	1
7	1
8	1
9	1
10	1
11	1
12	1
13	1
14	1
15	1
16	1
17	1
18	1
19	1
20	1
21	1
22	1
23	1
24	1
25	1
26	1
27	1
28	1
29	1
30	1
31	1
32	1
33	1
34	1
35	1
36	1
37	1
38	1
39	1
40	1
41	1
42	1
43	1
44	1
45	1
46	1
47	1
48	1
49	1
50	1
51	1
52	1
53	1
54	1
55	1
56	1
57	1
58	1
59	1
60	1
61	1
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63	1
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66	1
67	1
68	1
69	1
70	1
71	1
72	1
73	1
74	1
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78	1
79	1
80	1
81	1
82	1
83	1
84	1
85	1
86	1
87	1
88	1
89	1
90	1
91	1
92	1
93	1
94	1
95	1
96	1
97	1
98	1
99	1
100	1

APARTMENT BUILDING A

APARTMENT BUILDING A

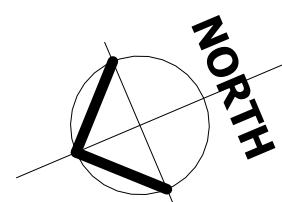
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 94.4%

APARTMENT BUILDING B

APARTMENT 01	YES
APARTMENT 02	NO
APARTMENT 03	NO
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	NO
APARTMENT 10	NO
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 71.4%



BRN 13371

NO.	DESCRIPTION	DATE
1	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations . Setback dims added to apartment building A , second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5.8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21

NO.	DESCRIPTION	DATE
1	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations . Setback dims added to apartment building A , second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5.8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
2	Council RFI changes, municipal open space arrangement amended, silver level apartment mix amended, screening type to balconies noted, apartment internal areas noted apartment arrangements amended to suit min area and dim requirements, furniture shown,	22.04.22

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

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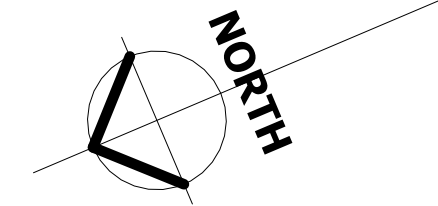
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DWELLING NUMBER	NATURALLY CROSS VENTILATED
-----------------	----------------------------

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 71.4%

1 : 100

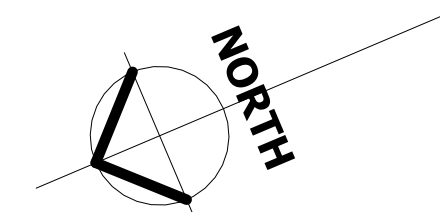


BRN 13371

NO.	DESCRIPTION	DATE
	Prelim issue to council for review	11.08.21
	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
	Consultant update drawing issue	03.09.21
	Issued to consultants	16.09.21
	Development Application Council issue	20.09.21

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1 TENANCY 3 FIRST FLOOR PLAN
1 : 100

A MINIMUM 60 PER CENT OF DWELLINGS ARE, OR ARE CAPABLE OF, BEING NATURALLY CROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING

DWELLING NUMBER NATURALLY CROSS VENTILATED

APARTMENT BUILDING A

APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES

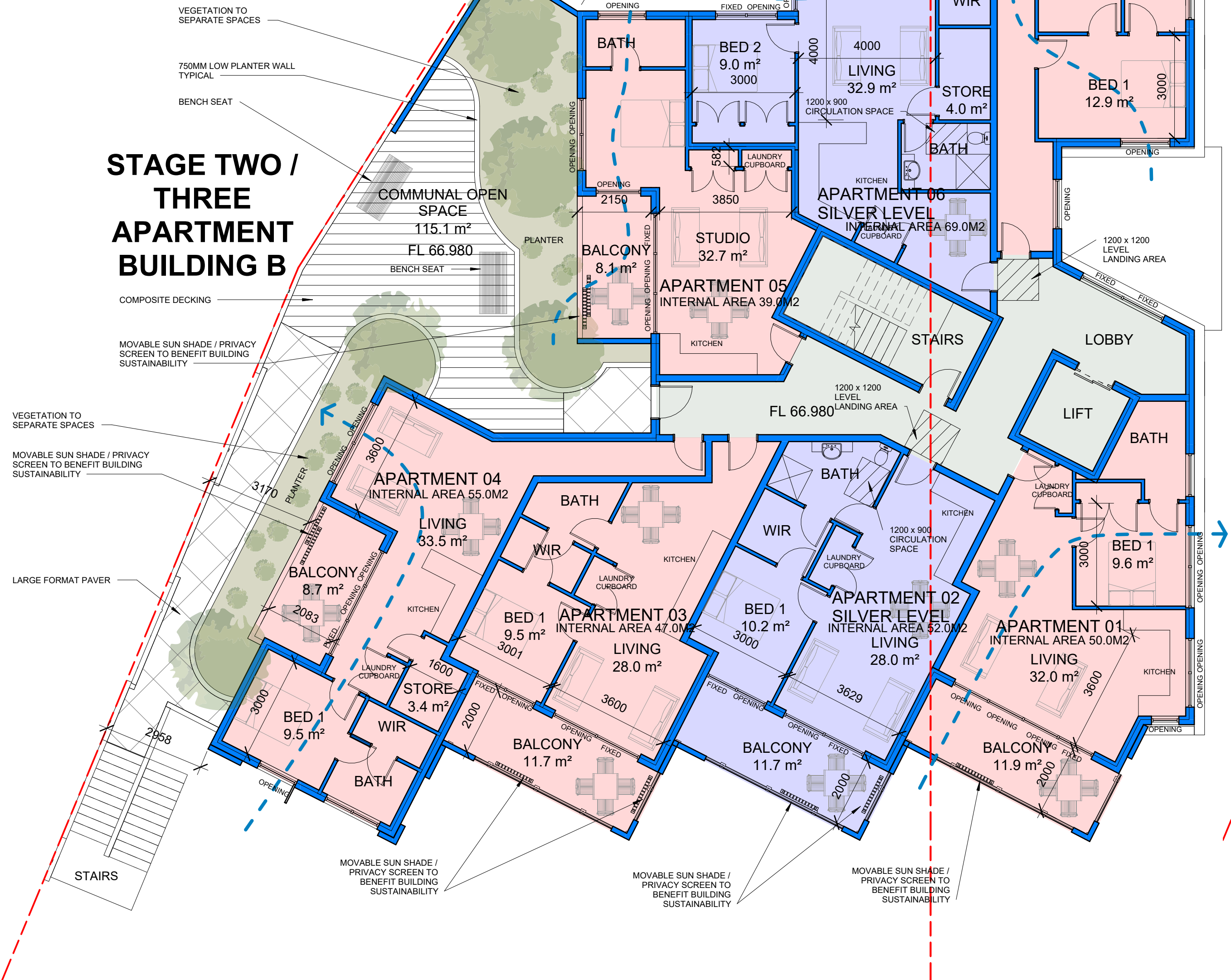
PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 94.4%

APARTMENT BUILDING B

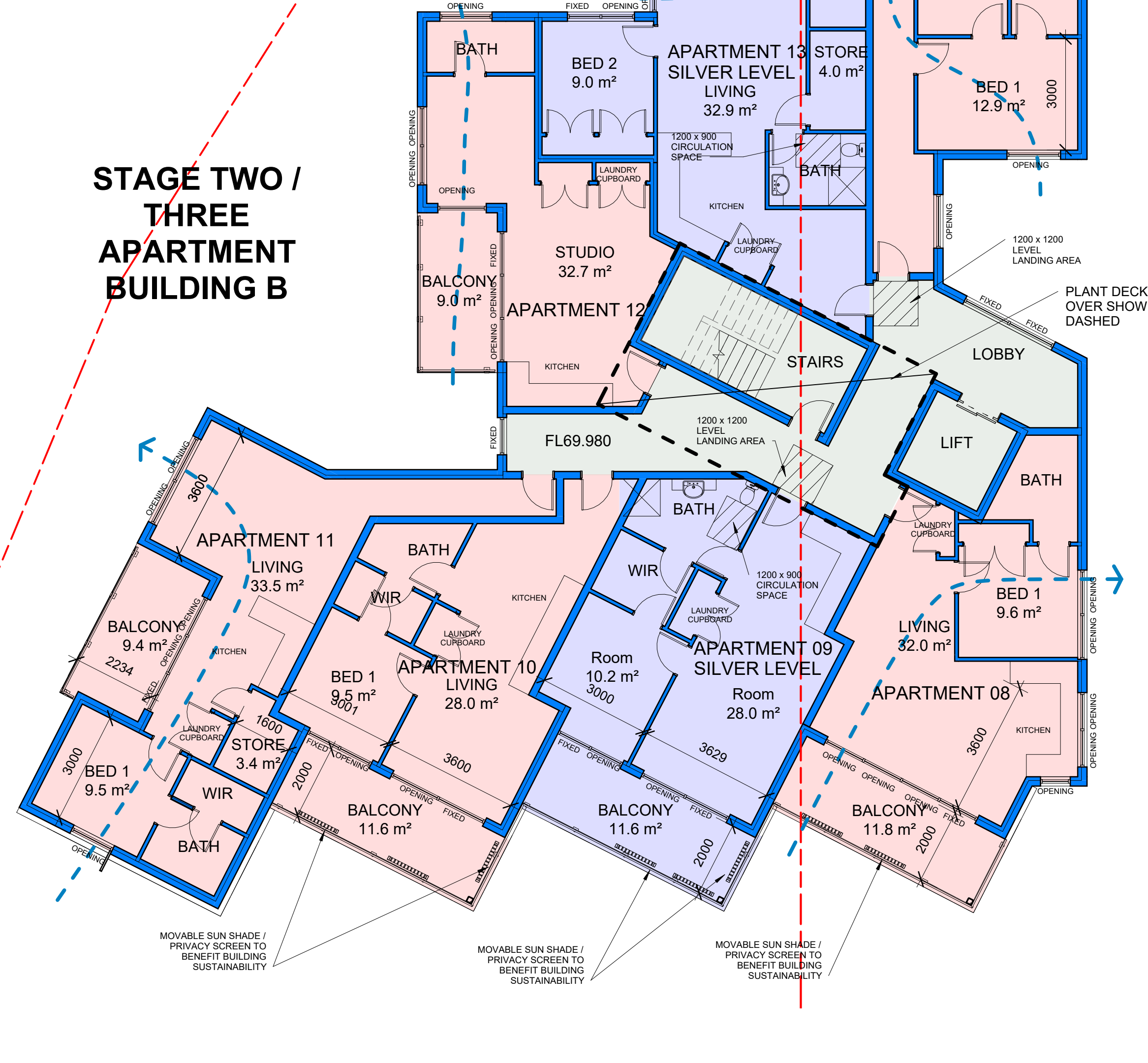
APARTMENT 01	YES
APARTMENT 02	NO
APARTMENT 03	NO
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	NO
APARTMENT 10	NO
APARTMENT 11	NO
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES

PERCENTAGE OF DWELLINGS ARE OR CAPABLE OF BEING NATURALLY CROSS VENTILATED = 71.4%

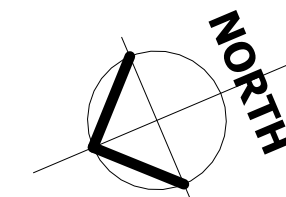
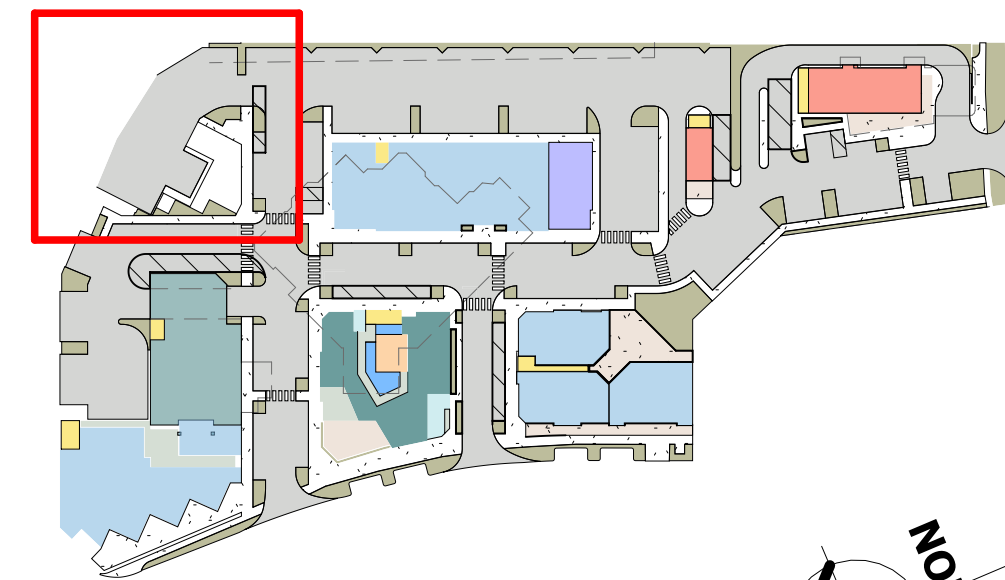
STAGE TWO / THREE
APARTMENT
BUILDING B



STAGE TWO / THREE
APARTMENT
BUILDING B



NOTE
APARTMENTS TO BE FIBRE TO THE PREMISES READY



BUILDING
WORKSHOP

BRN 13371

REG. BUILDER NO. 13371 ABN
TEL. 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Prelim issue to council for review	11.08.21
2	Apartment buildings A & B added. Tenancy 1 & 11 added.	20.08.21
3	Consultant update drawing issue	03.09.21
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7	Council RFI changes, communal open space arrangement amended, silver level apartment mix amended, screening type to balconies noted, apartment internal areas noted, apartment arrangements amended to suit min area and dim requirements, furniture shown,	22.04.22

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road, Mirrabooka

Owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

APARTMENT
BUILDING B FIRST &
SECOND FLOOR
PLANS

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET

DA01.10

REV
7

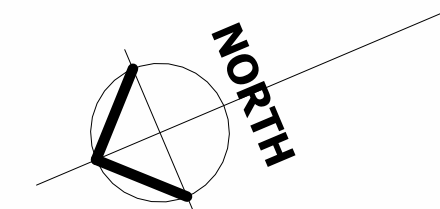
SCALE As indicated

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1 FIRST FLOOR PLAN
1 : 100

2 SECOND FLOOR PLAN
1 : 100

1 ROOF PLAN
1 : 300

BUILDING
WORKSHOP

RN 13371

REG. BUILDER NO. 13371 ABN
TEL: 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

[illegible]

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road, Mirrabooka

Owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

SITE OVER SHADOW DIAGRAM

PROJECT NUMBER	Project Number
-------------------	----------------

DATE	Issue Date
------	------------

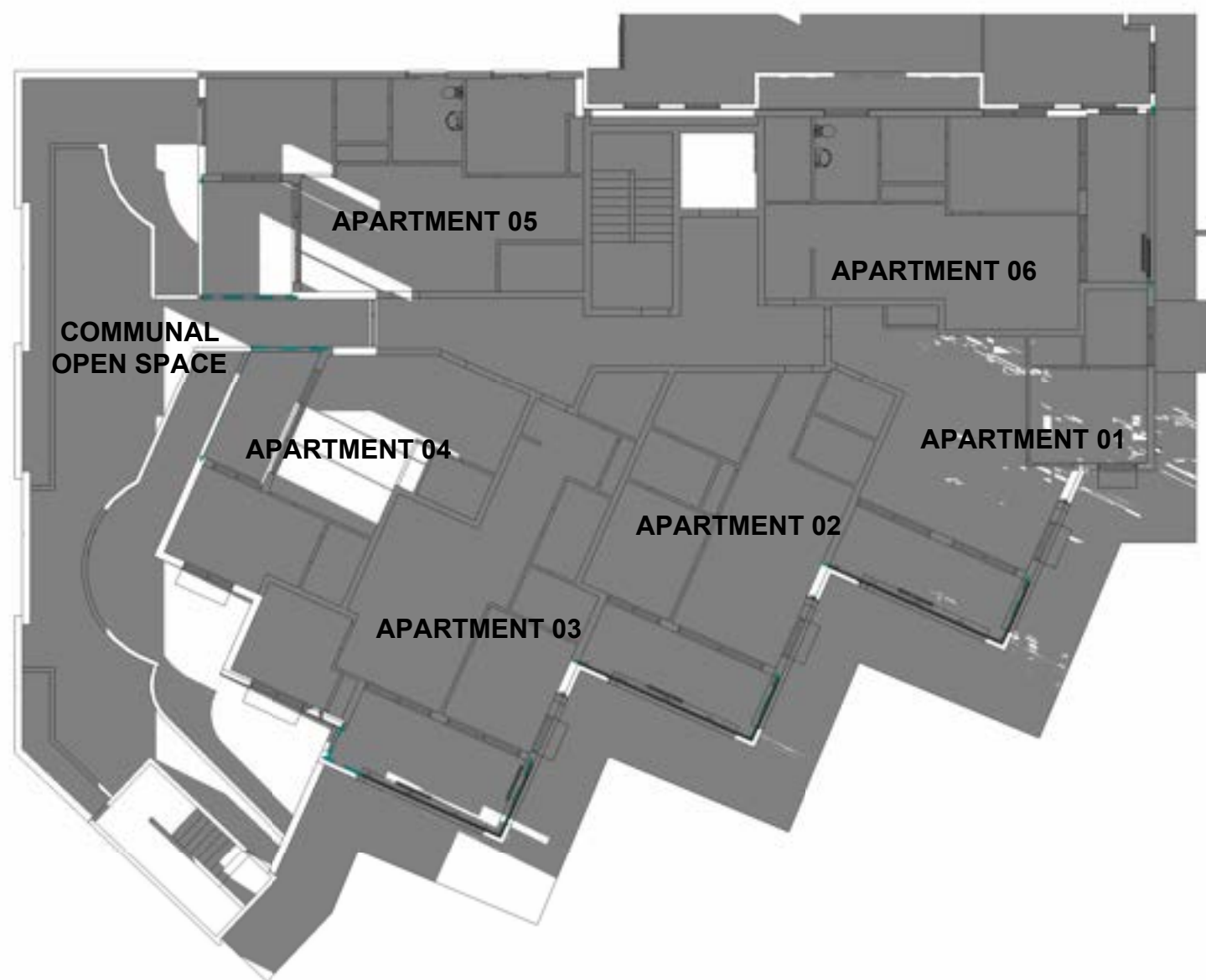
A1 SIZE SHEET

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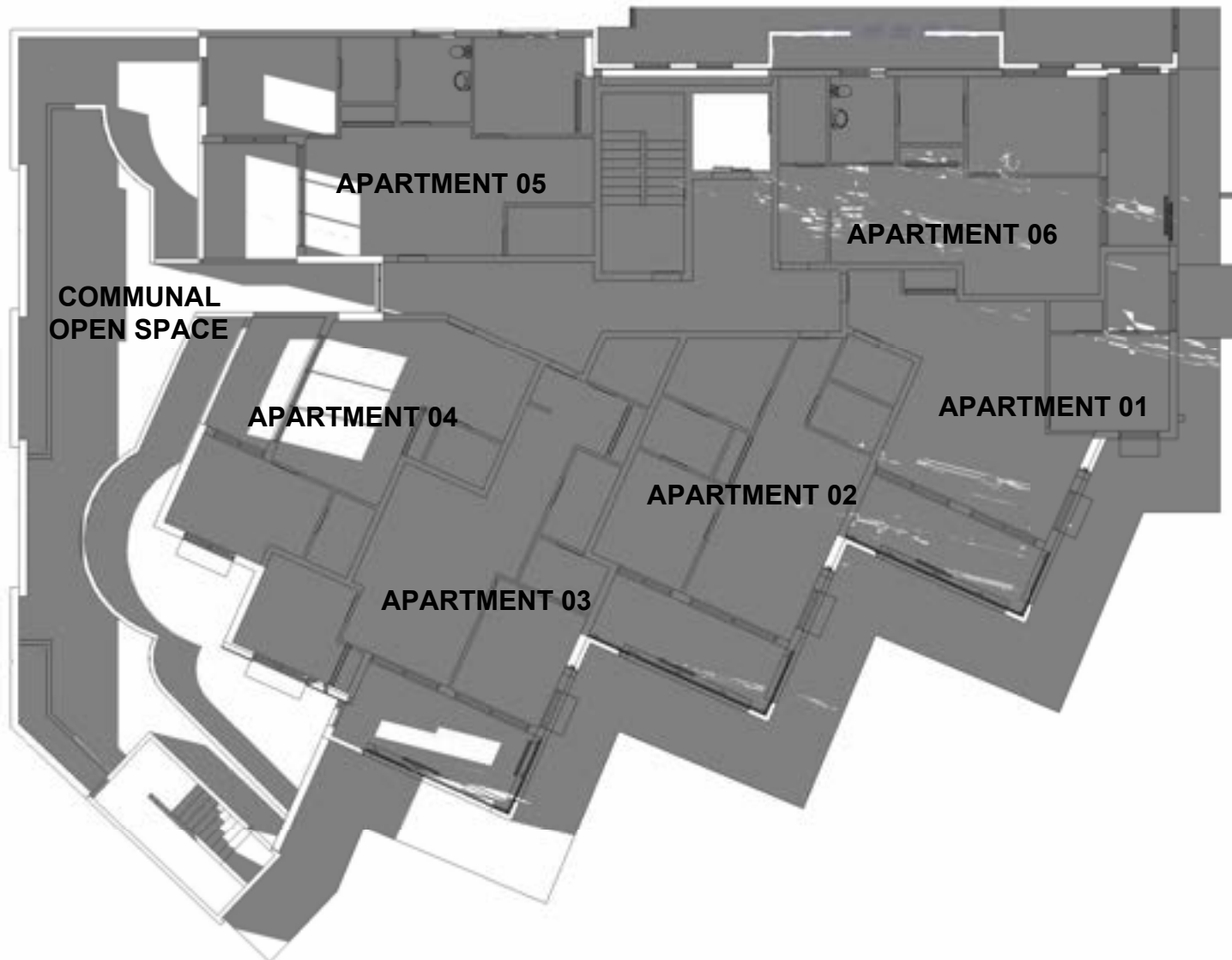
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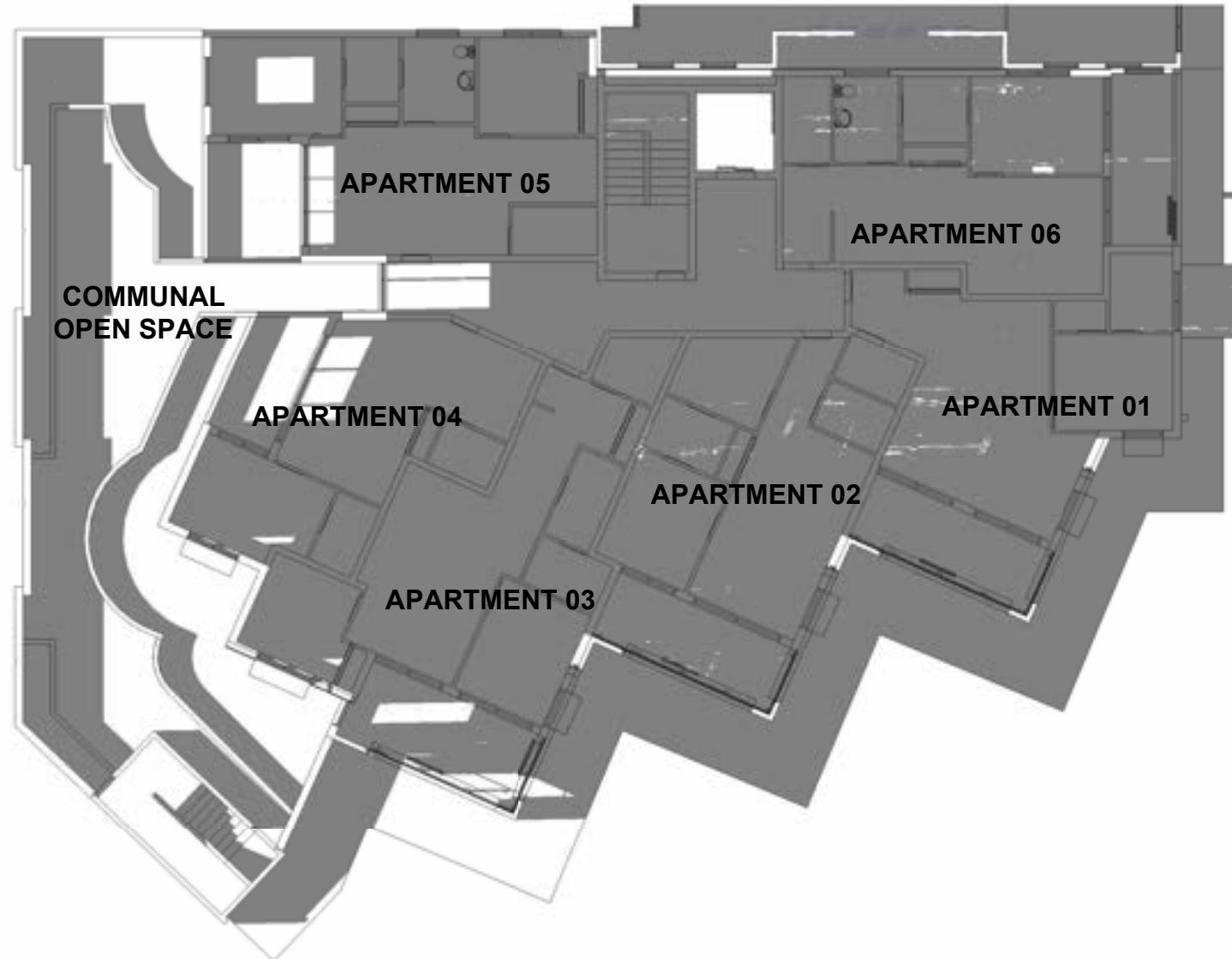
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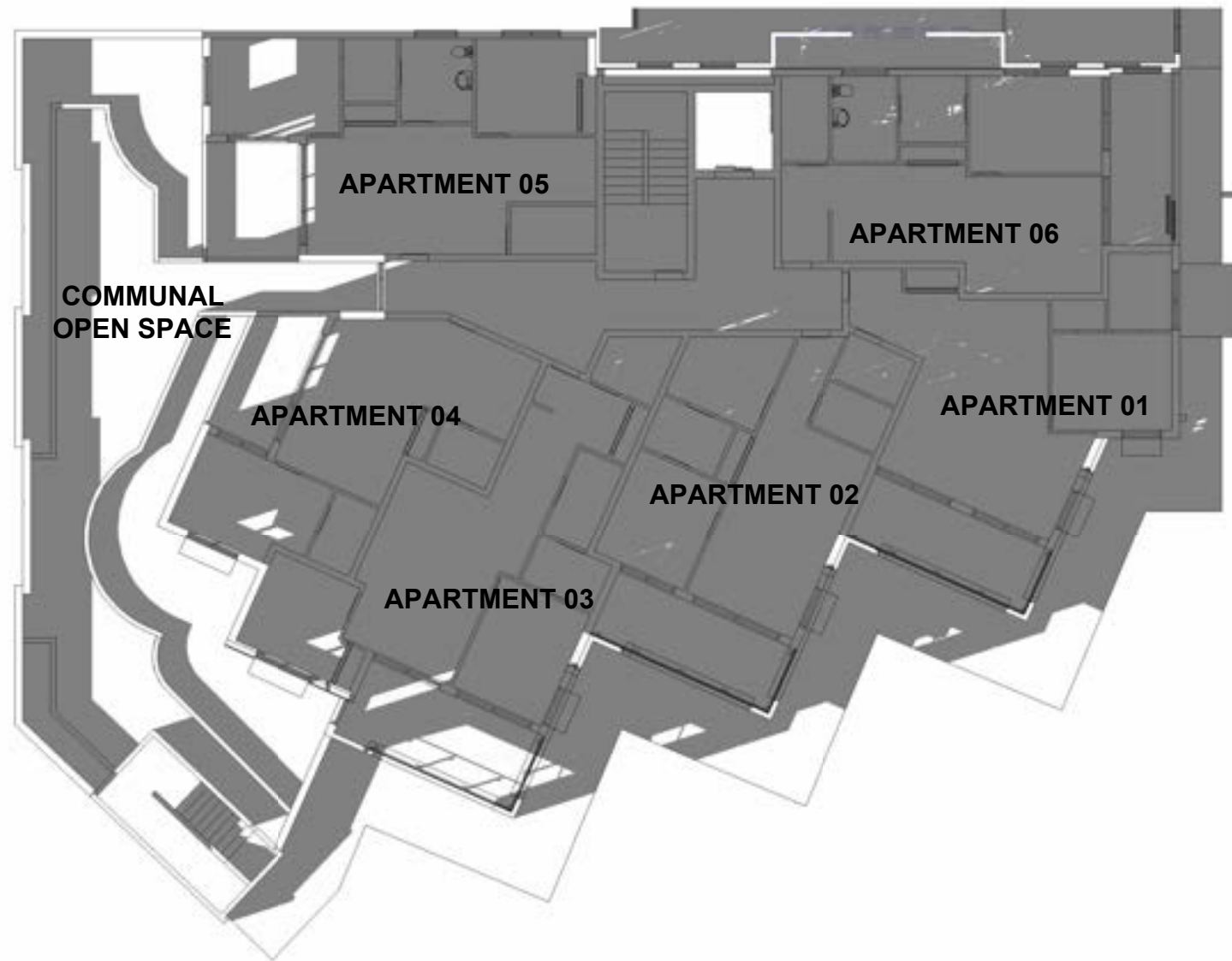
1
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 900AM FIRST FLOOR



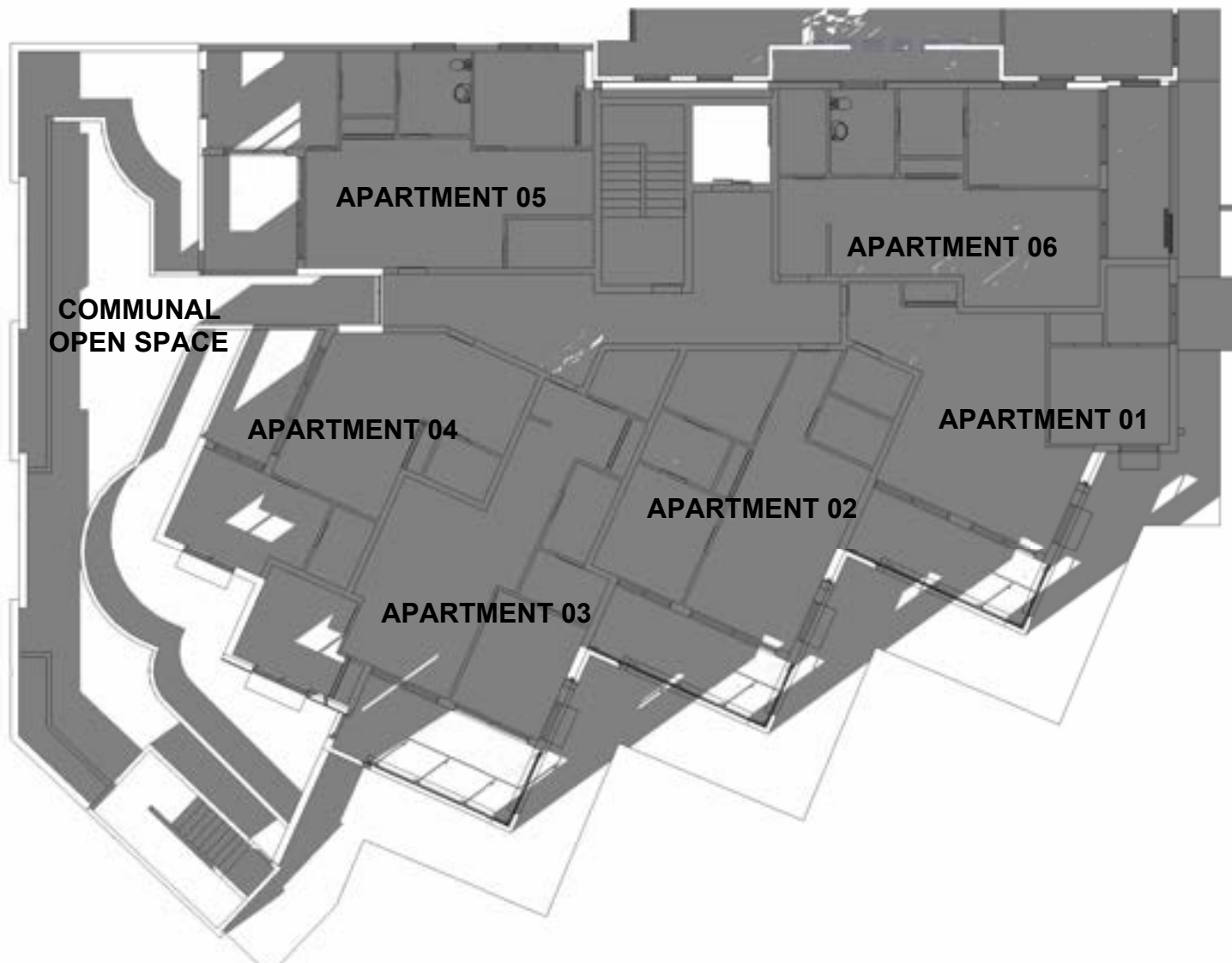
2
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1000AM FIRST FLOOR



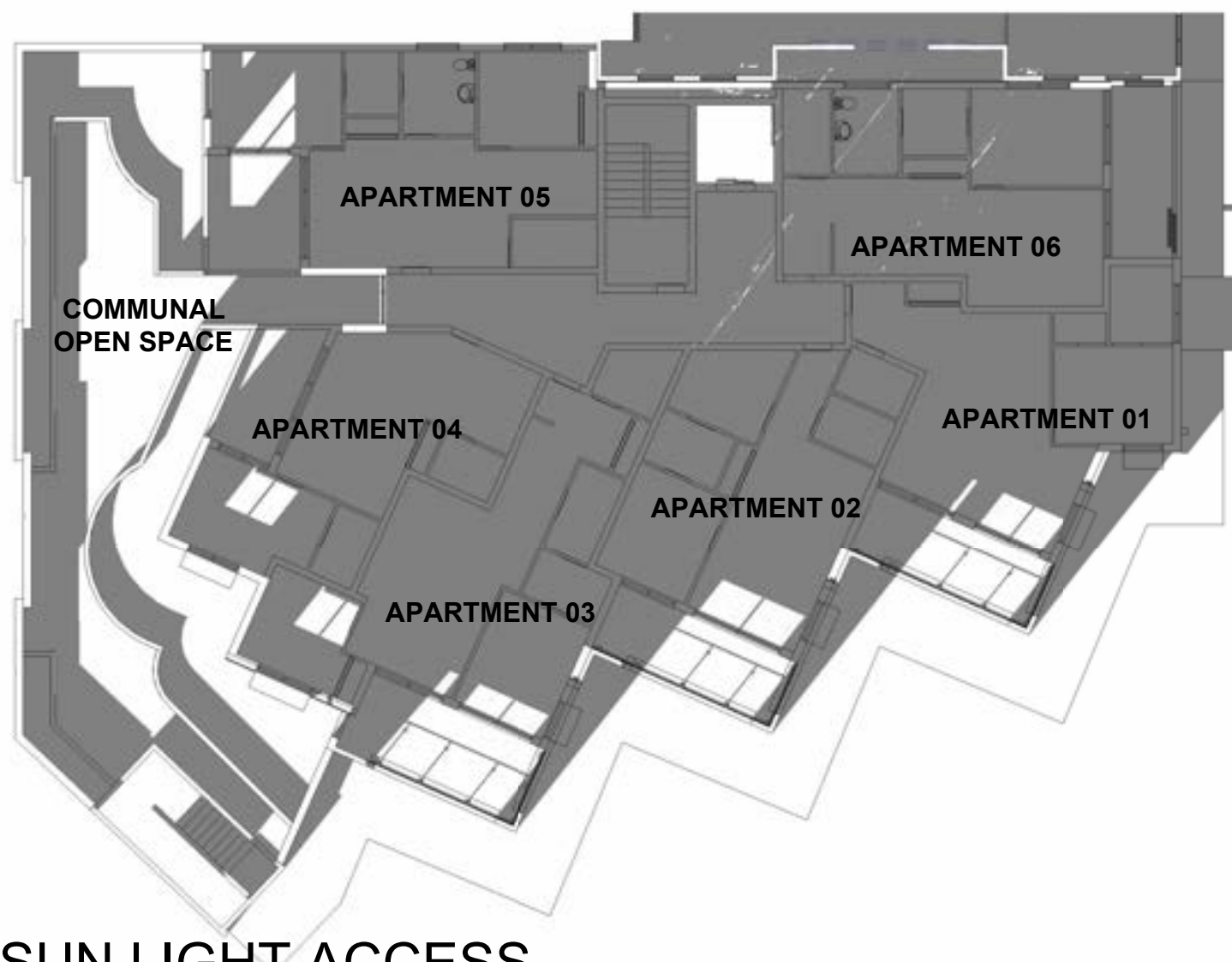
3
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1100AM FIRST FLOOR



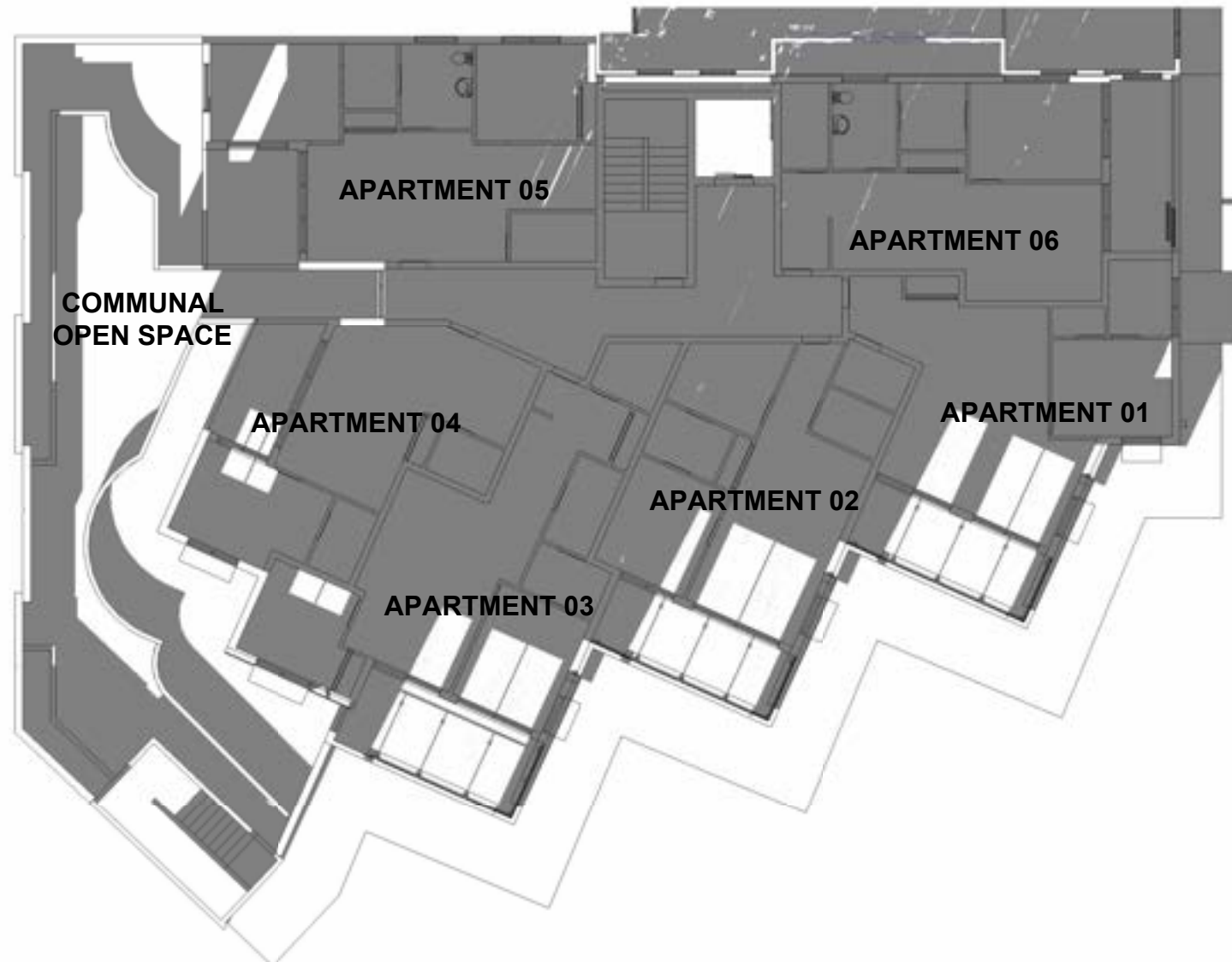
4
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1200AM FIRST FLOOR



5
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 100PM FIRST FLOOR



6
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 200PM FIRST FLOOR



7
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 300PM FIRST FLOOR

DWELLINGS WITH A NORTHERN ASPECT ARE MAXIMISED, WITH A MINIMUM OF 70 PERCENT OF DWELLINGS HAVING LIVING ROOMS AND PRIVATE OPEN SPACE THAT OBTAIN AT LEAST 2 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21 JUNE

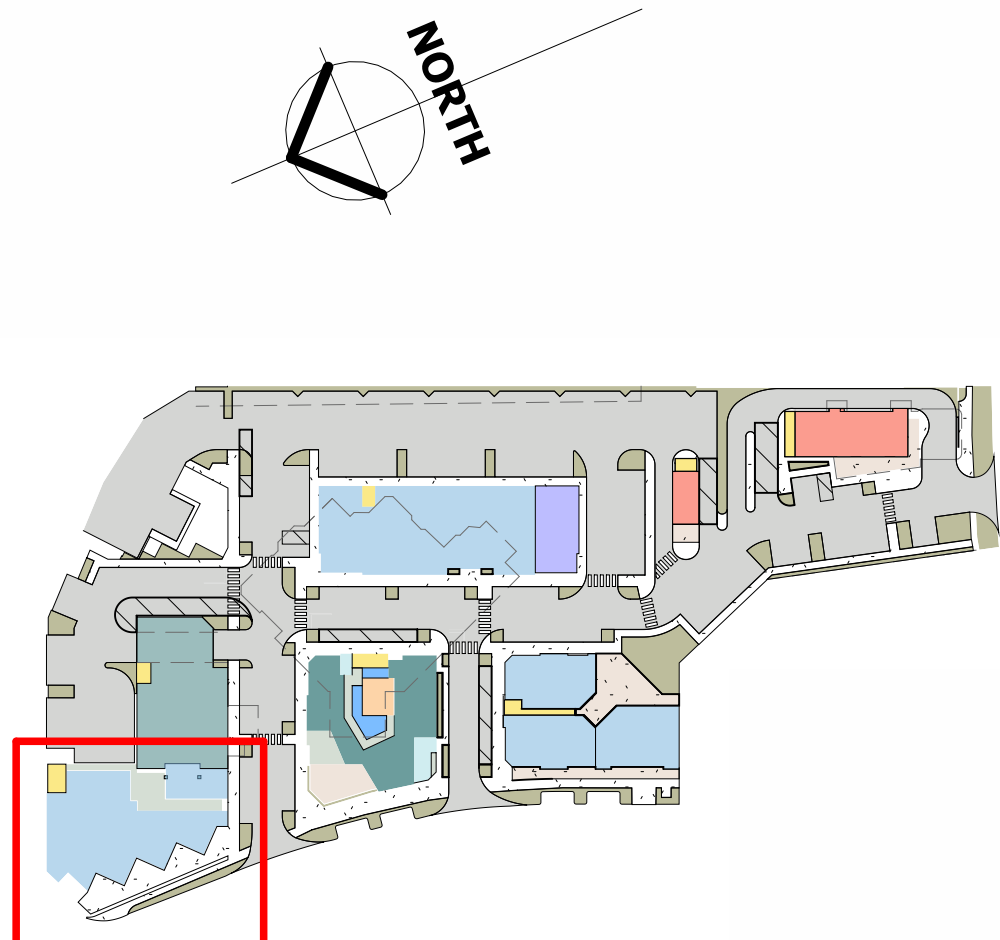
DWELLING NUMBER	HOURS OF DICT SUNLIGHT (MINIMUM 2 HOURS) PRIVATE OPEN SPACE & LIVING ROOM
APARTMENT BUILDING A	
APARTMENT 01	2 HOURS
APARTMENT 02	2 HOURS
APARTMENT 03	1 HOURS
APARTMENT 04	2 HOURS
APARTMENT 05	2 HOURS
APARTMENT 06	0 HOURS
APARTMENT 07	2 HOURS
APARTMENT 08	2 HOURS
APARTMENT 09	1 HOURS
APARTMENT 10	3 HOURS
APARTMENT 11	3 HOURS
APARTMENT 12	0 HOURS
APARTMENT 13	2 HOURS
APARTMENT 14	2 HOURS
APARTMENT 15	2 HOURS
APARTMENT 16	2 HOURS
APARTMENT 17	2 HOURS
APARTMENT 18	0 HOURS
APARTMENT BUILDING B	
APARTMENT 01	2 HOURS
APARTMENT 02	2 HOURS
APARTMENT 03	2 HOURS
APARTMENT 04	4 HOURS
APARTMENT 05	3 HOURS
APARTMENT 06	2 HOURS
APARTMENT 07	3 HOURS
APARTMENT 08	3 HOURS
APARTMENT 09	3 HOURS
APARTMENT 10	3 HOURS
APARTMENT 11	3 HOURS
APARTMENT 12	2 HOURS
APARTMENT 13	2 HOURS
APARTMENT 14	3 HOURS

PERCENTAGE OF DWELLINGS RECIEVING A
MINIMUM OF 2 HOURS DIRECT SUNLIGHT = 84.4%

A MAXIMUM OF 15 PER CENT OF DWELLINGS IN A BUILDING RECEIVING NO
DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21 JUNE.

DWELLING NUMBER	DWELLINGS RECEIVING DIRECT SUNLIGHT
APARTMENT BUILDING A	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES
PERCENTAGE OF DWELLINGS RECIEVING NO DIRECT SUNLIGHT= 5.5%	
APARTMENT BUILDING B	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES

PERCENTAGE OF DWELLINGS RECIEVING NO
DIRECT SUNLIGHT= 0%



BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371
TEL: 08 - 9201 9555
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Issued to consultants	16.09.21
2	Development Application Council issue	20.09.21
3	apartment arrangements amended, shadow diagrams adjusted to suit.	02.05.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner
**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

**SUN ACCESS
APARTMENT
BUILDING A FIRST
FLOOR**

PROJECT
NUMBER
DATE

Project Number
Issue Date

A1 SIZE SHEET
DA01.13
REV 3

SCALE
As indicated

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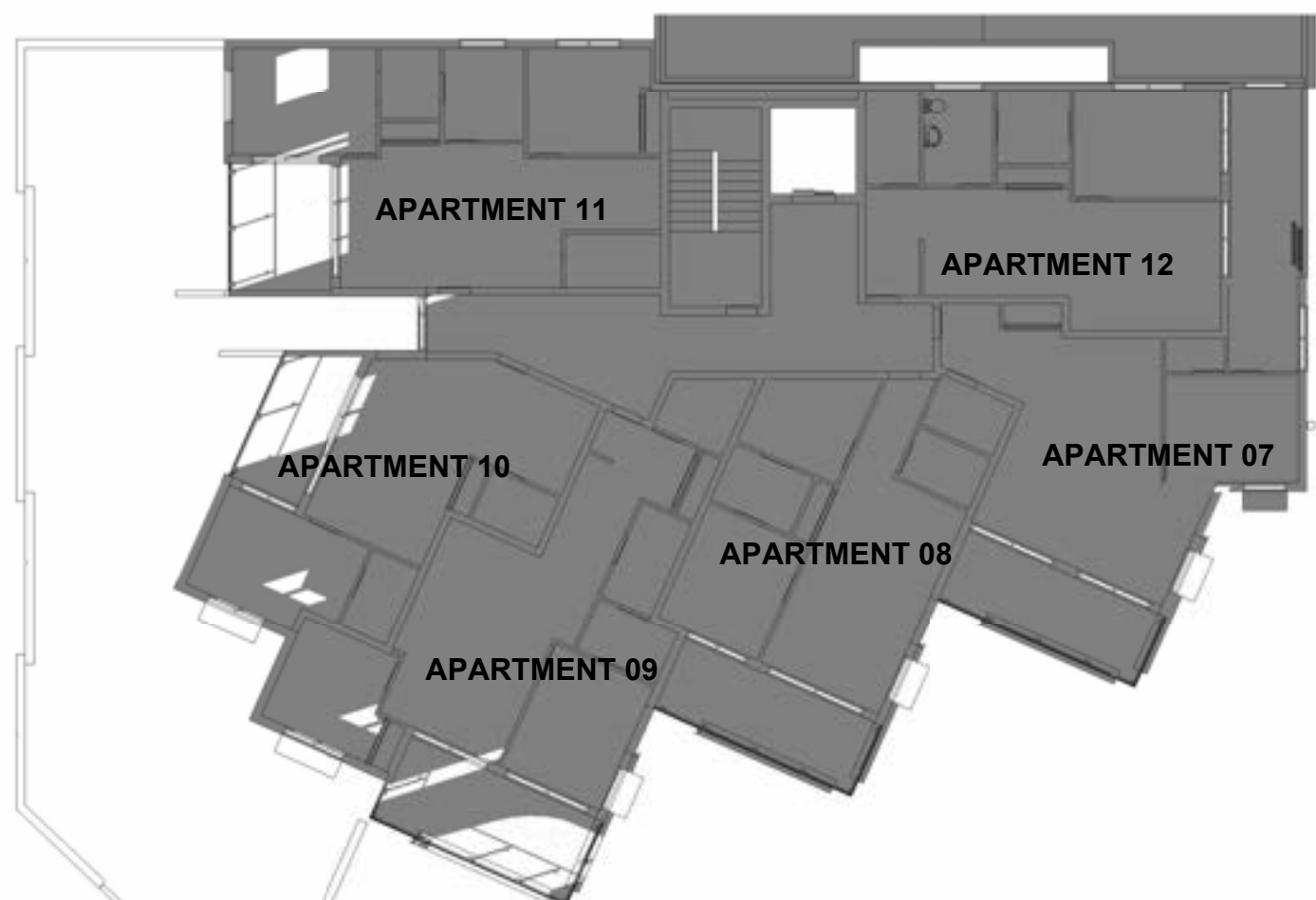
1
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 900AM SECOND FLOOR



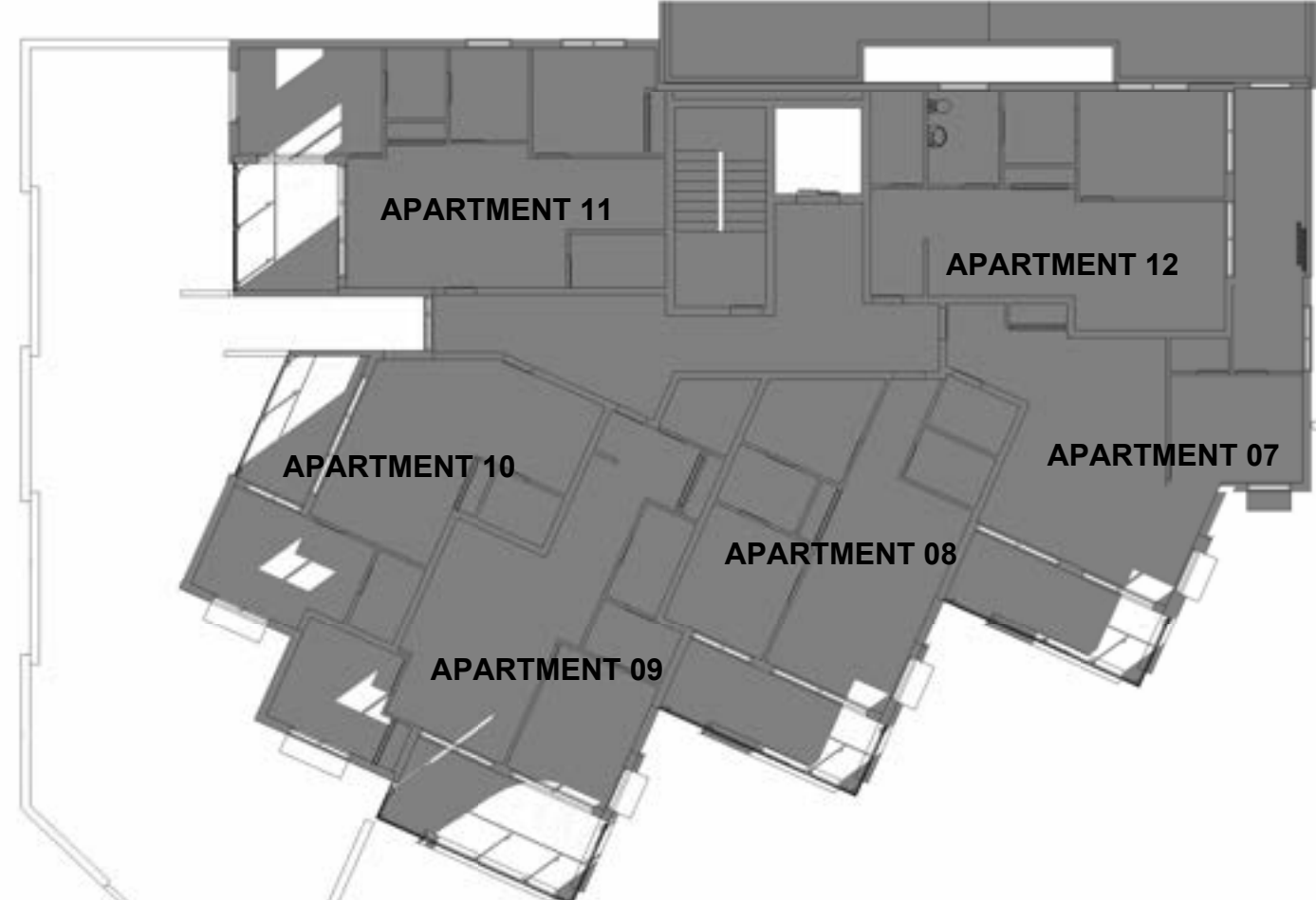
2
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1000AM SECOND
FLOOR



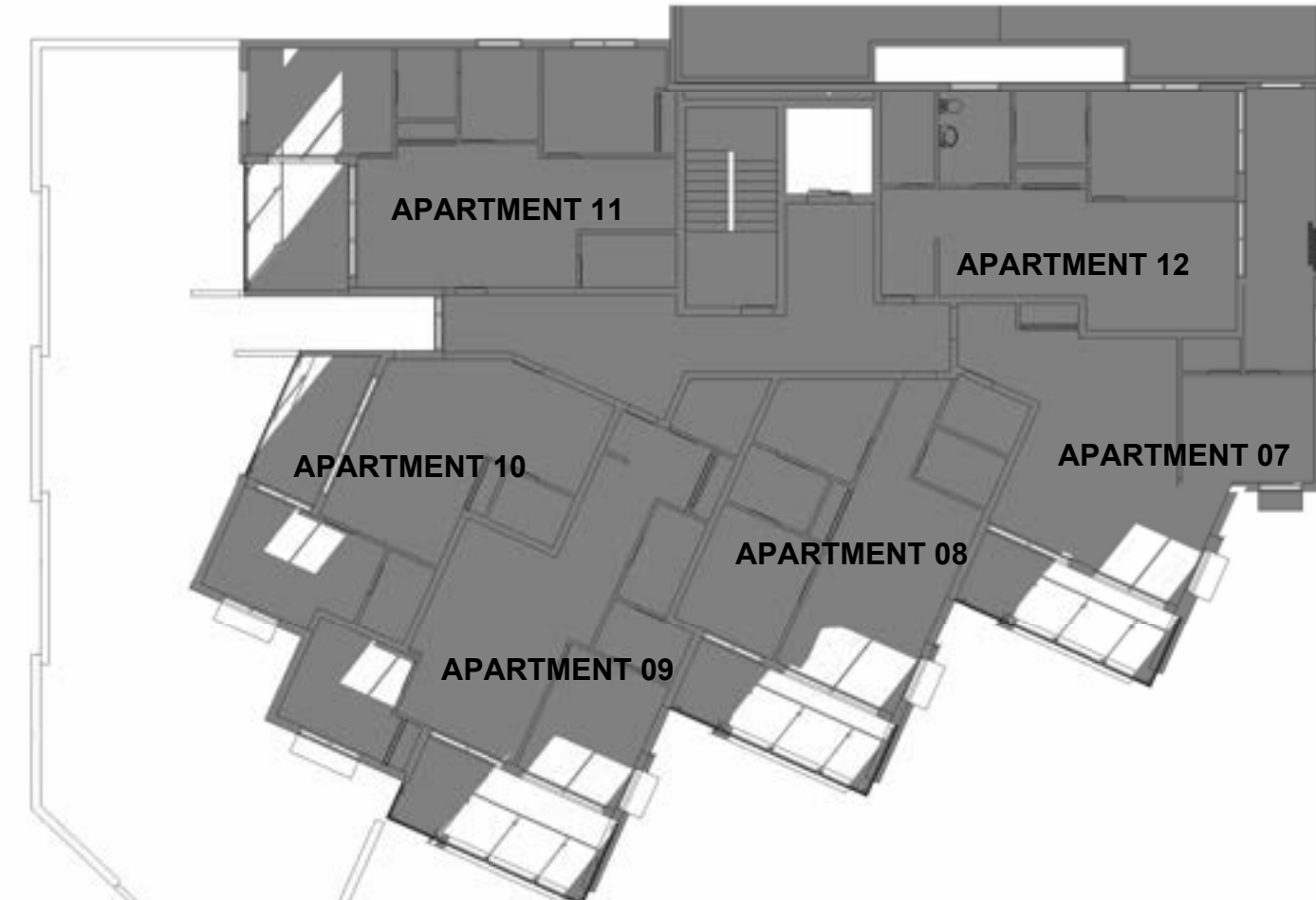
3
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1100AM SECOND
FLOOR



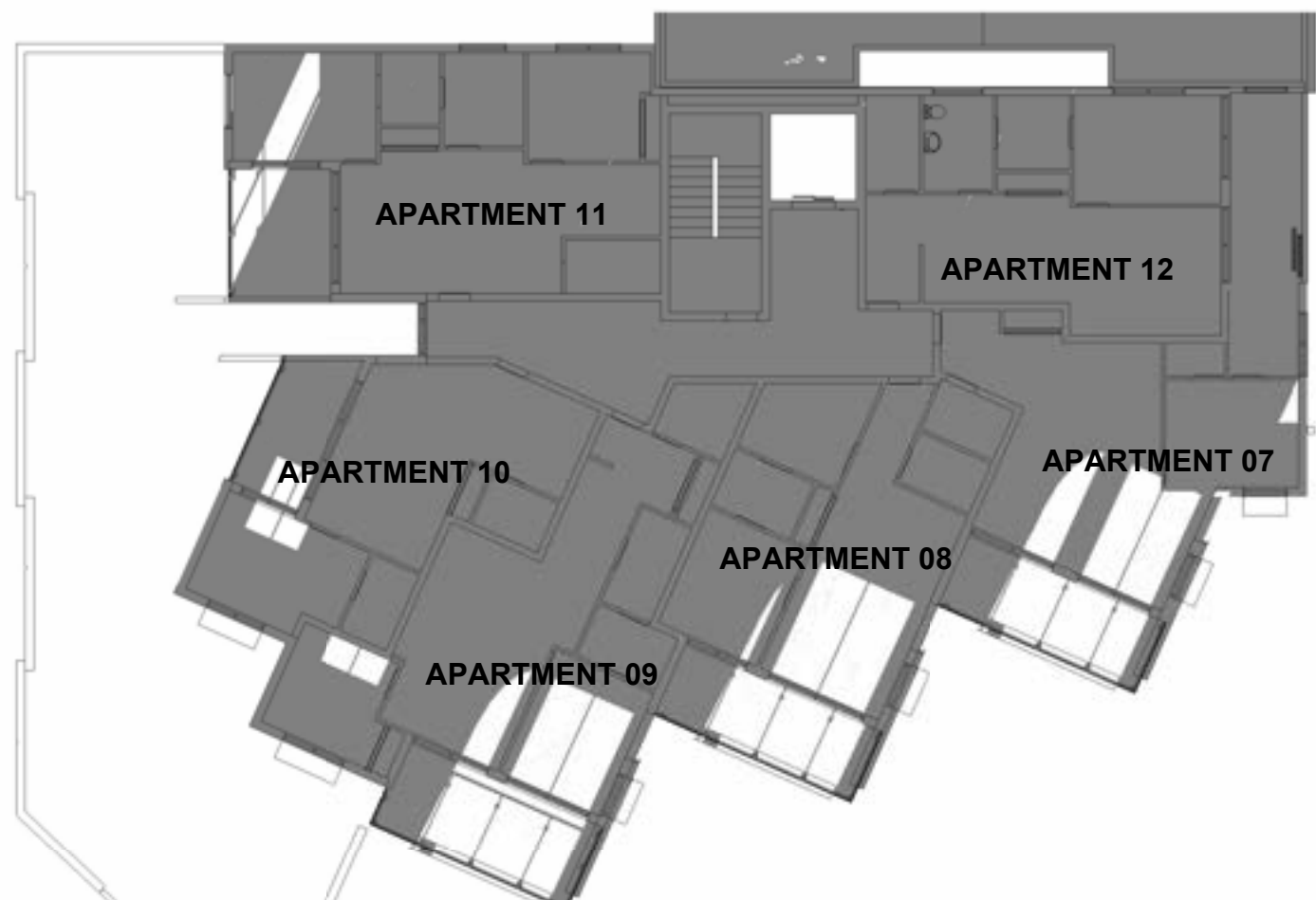
4
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 1200AM SECOND
FLOOR



5
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 100PM SECOND FLOOR



6
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 200PM SECOND FLOOR



7
SUN LIGHT ACCESS
APPARTMENT BUILDING
A 300PM SECOND FLOOR

DWELLINGS WITH A NORTHERN ASPECT ARE MAXIMISED, WITH A MINIMUM OF 70 PERCENT OF DWELLINGS HAVING LIVING ROOMS AND PRIVATE OPEN SPACE THAT OBTAIN AT LEAST 2 HOURS DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21 JUNE

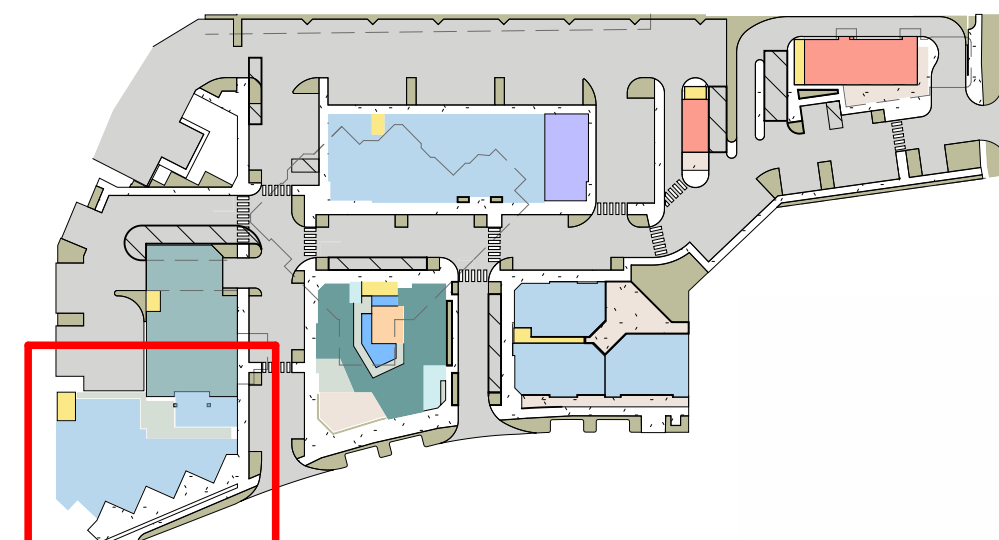
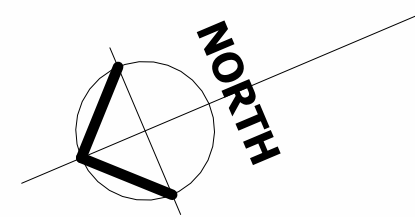
DWELLING NUMBER	HOURS OF DICT SUNLIGHT (MINIMUM 2 HOURS) PRIVATE OPEN SPACE & LIVING ROOM
APARTMENT BUILDING A	
APARTMENT 01	2 HOURS
APARTMENT 02	2 HOURS
APARTMENT 03	1 HOURS
APARTMENT 04	2 HOURS
APARTMENT 05	2 HOURS
APARTMENT 06	0 HOURS
APARTMENT 07	2 HOURS
APARTMENT 08	2 HOURS
APARTMENT 09	1 HOURS
APARTMENT 10	3 HOURS
APARTMENT 11	3 HOURS
APARTMENT 12	0 HOURS
APARTMENT 13	2 HOURS
APARTMENT 14	2 HOURS
APARTMENT 15	2 HOURS
APARTMENT 16	2 HOURS
APARTMENT 17	2 HOURS
APARTMENT 18	0 HOURS
APARTMENT BUILDING B	
APARTMENT 01	2 HOURS
APARTMENT 02	2 HOURS
APARTMENT 03	2 HOURS
APARTMENT 04	4 HOURS
APARTMENT 05	3 HOURS
APARTMENT 06	2 HOURS
APARTMENT 07	3 HOURS
APARTMENT 08	3 HOURS
APARTMENT 09	3 HOURS
APARTMENT 10	3 HOURS
APARTMENT 11	3 HOURS
APARTMENT 12	2 HOURS
APARTMENT 13	2 HOURS
APARTMENT 14	3 HOURS

PERCENTAGE OF DWELLINGS RECIEVING A
MINIMUM OF 2 HOURS DIRECT SUNLIGHT = 84.4%

A MAXIMUM OF 15 PER CENT OF DWELLINGS IN A BUILDING RECEIVING NO
DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21 JUNE.

DWELLING NUMBER	DWELLINGS RECEIVING DIRECT SUNLIGHT
APARTMENT BUILDING A	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES
PERCENTAGE OF DWELLINGS RECIEVING NO DIRECT SUNLIGHT= 5.5%	
APARTMENT BUILDING B	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES

PERCENTAGE OF DWELLINGS RECIEVING NO
DIRECT SUNLIGHT= 0%



BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371
TEL: 08 - 9201 9555
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

ABN
74145135002

NO.	DESCRIPTION	DATE
1	Issued to consultants	16.09.21
2	Development Application Council issue	20.09.21
3	apartment arrangements amended, shadow diagrams adjusted to suit.	02.05.22

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

SUN ACCESS
APARTMENT
BUILDING A SECOND
FLOOR

PROJECT
NUMBER
Project Number

DATE
Issue Date

A1 SIZE SHEET

DA01.14

REV
3

SCALE
As indicated

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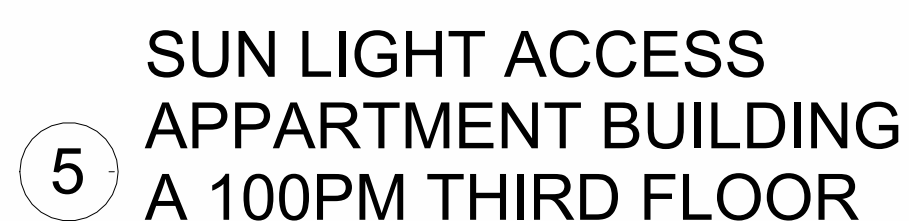
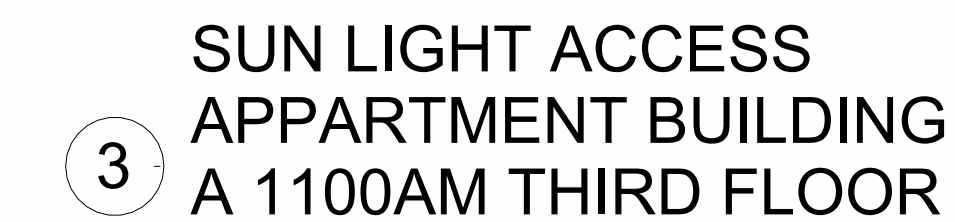
NO.	DESCRIPTION	DATE
1	Issued to consultants	16.09.21
2	Development Application Council issue	20.09.21
3	apartment arrangements amended, shadow diagrams adjusted to suit.	02.05.22

[illegible]

Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

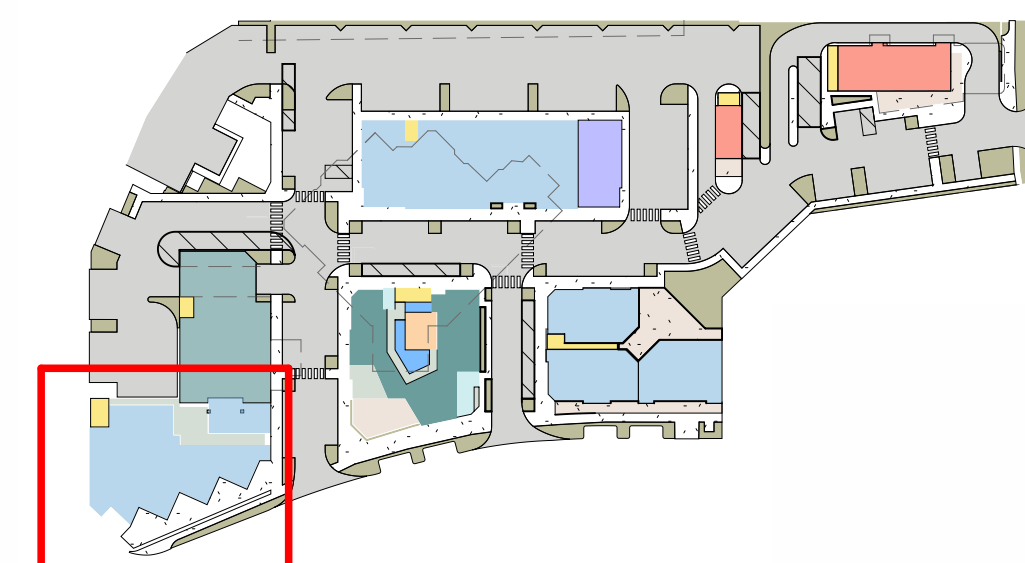
PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

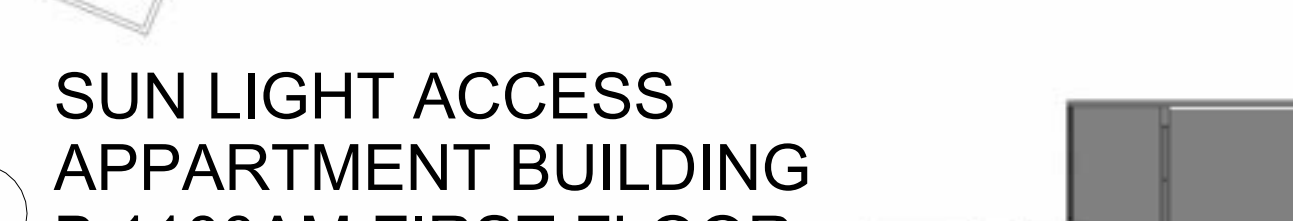
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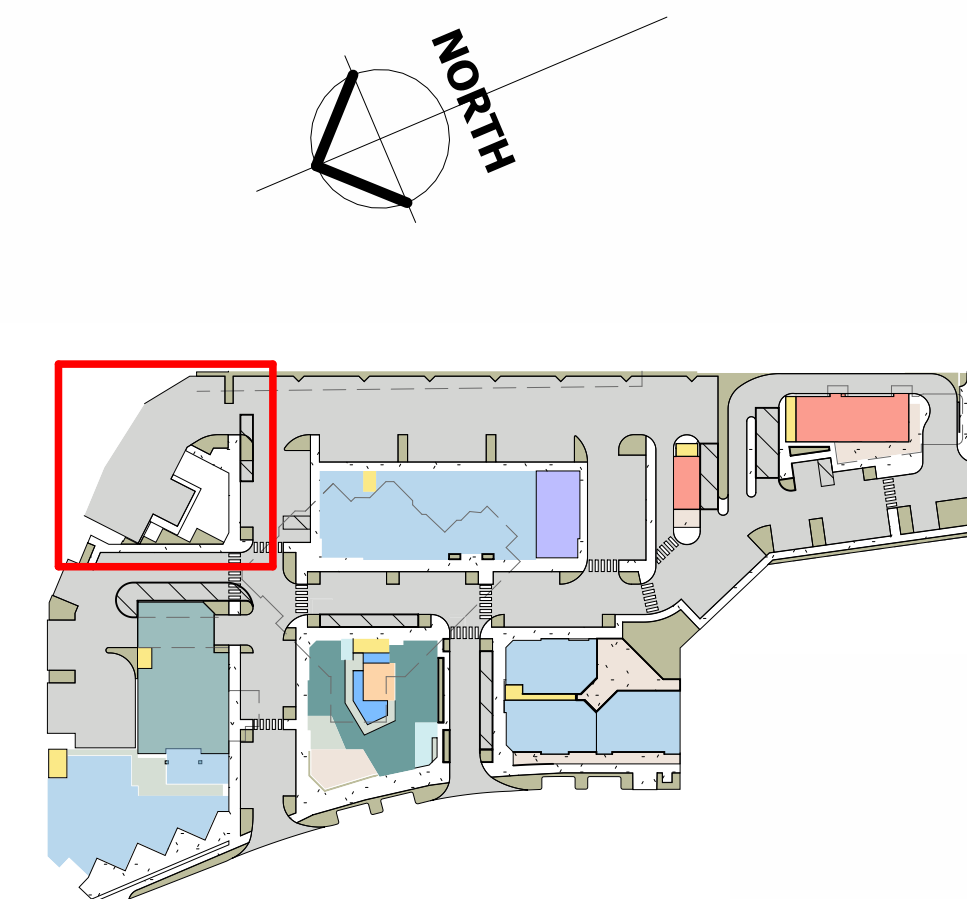
PERCENTAGE OF DWELLINGS RECIEVING A
MINIMUM OF 2 HOURS DIRECT SUNLIGHT = 84.4%

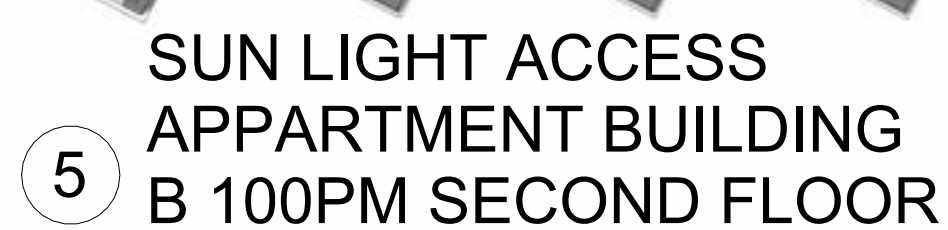
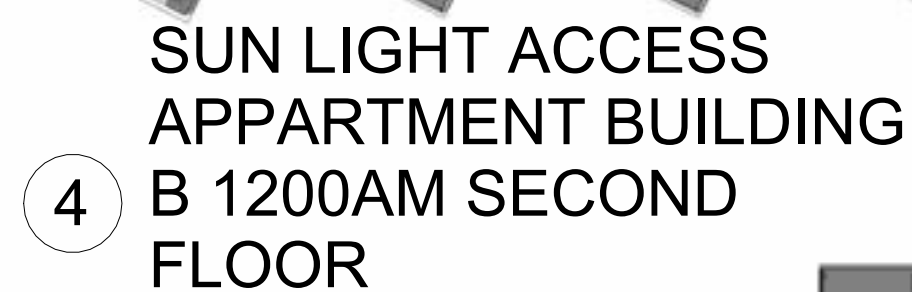
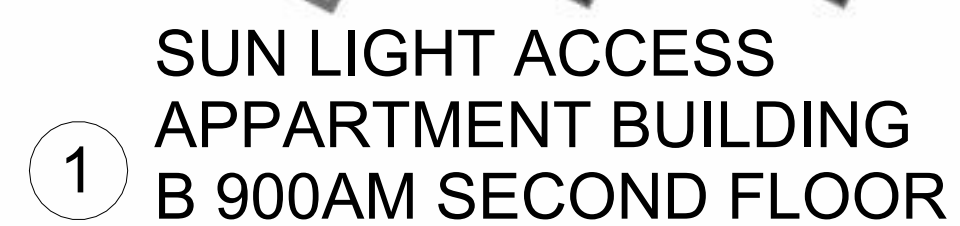
PERCENTAGE OF DWELLINGS RECEIVING NO
DIRECT SUNLIGHT= 0%





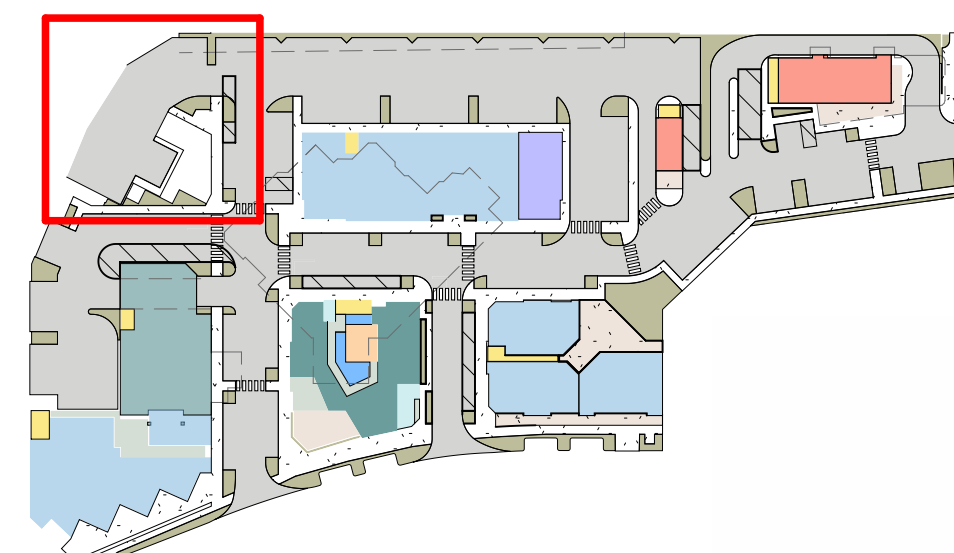
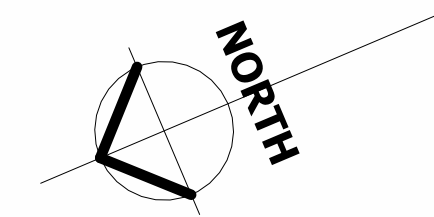
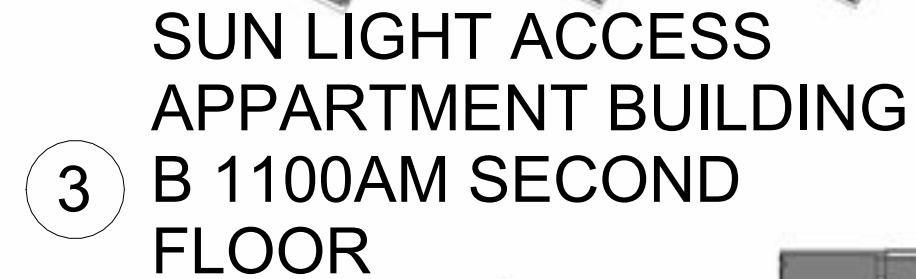
A MAXIMUM OF 15 PER CENT OF DWELLINGS IN A BUILDING RECEIVING NO DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21 JUNE.	
DWELLING NUMBER	DWELLINGS RECEIVING DIRECT SUNLIGHT
<u>APARTMENT BUILDING A</u>	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	NO
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
APARTMENT 15	YES
APARTMENT 16	YES
APARTMENT 17	YES
APARTMENT 18	YES
PERCENTAGE OF DWELLINGS RECEIVING NO DIRECT SUNLIGHT= 5.5%	
<u>APARTMENT BUILDING B</u>	
APARTMENT 01	YES
APARTMENT 02	YES
APARTMENT 03	YES
APARTMENT 04	YES
APARTMENT 05	YES
APARTMENT 06	YES
APARTMENT 07	YES
APARTMENT 08	YES
APARTMENT 09	YES
APARTMENT 10	YES
APARTMENT 11	YES
APARTMENT 12	YES
APARTMENT 13	YES
APARTMENT 14	YES
PERCENTAGE OF DWELLINGS RECEIVING NO DIRECT SUNLIGHT= 0%	





PERCENTAGE OF DWELLINGS RECEIVING A
MINIMUM OF 2 HOURS DIRECT SUNLIGHT = 84.4%

PERCENTAGE OF DWELLINGS RECIEVING NO
DIRECT SUNLIGHT= 0%

[illegible]

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

SUN ACCESS
APARTMENT
BUILDING B SECOND
FLOOR

PROJECT NUMBER	Project Number
-------------------	----------------

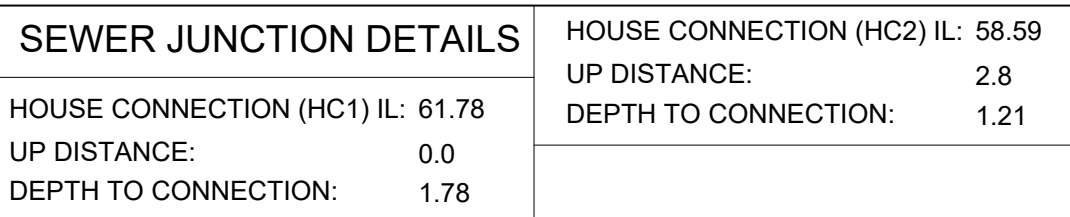
DATE	Issue Date
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A1 SIZE SHEET

DA01.17

REV
3

SCALE	As indicated
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BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371
TEL: 08 - 9201 9555
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Development Application Council issue	20.09.21
2	LOT 12875 added to site survey	02.05.22

YIRRIGAN DRIVE

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner

**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

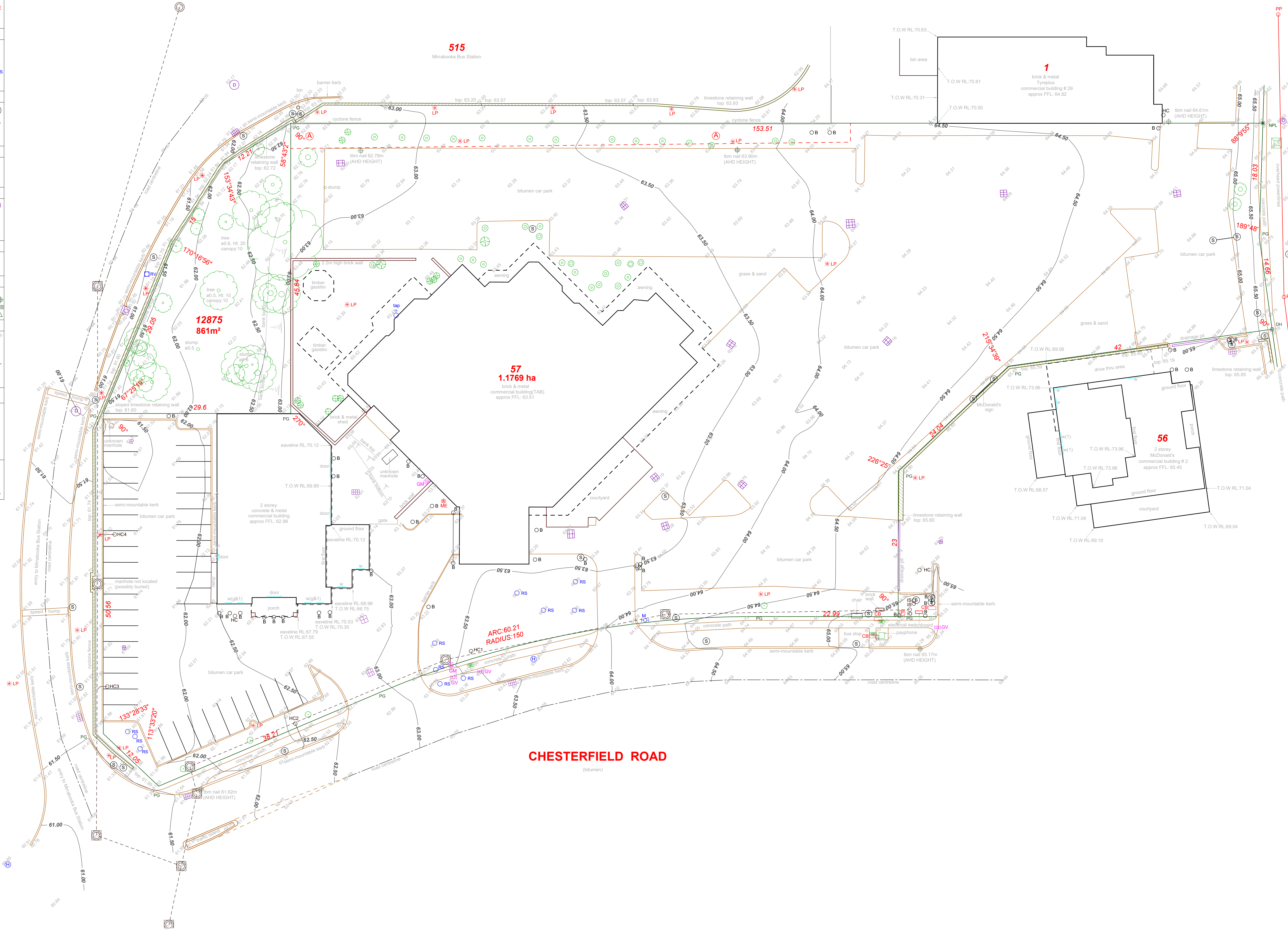
EXISTING SITE FEATURE SURVEY

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET	
DA01.18	REV 2

SCALE 1 : 300

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NO.	DESCRIPTION	DATE
1	Development Application Council issue	20.09.21
2	Deep soil area arrangement amended, tree arrangement amended, planting on structure arrangement amended, data amended to suit	26.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road, Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

APARTMENT DEEP SOIL AREA & TREE CALCULATIONS

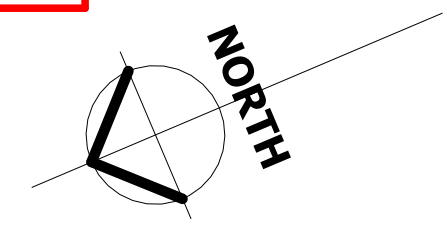
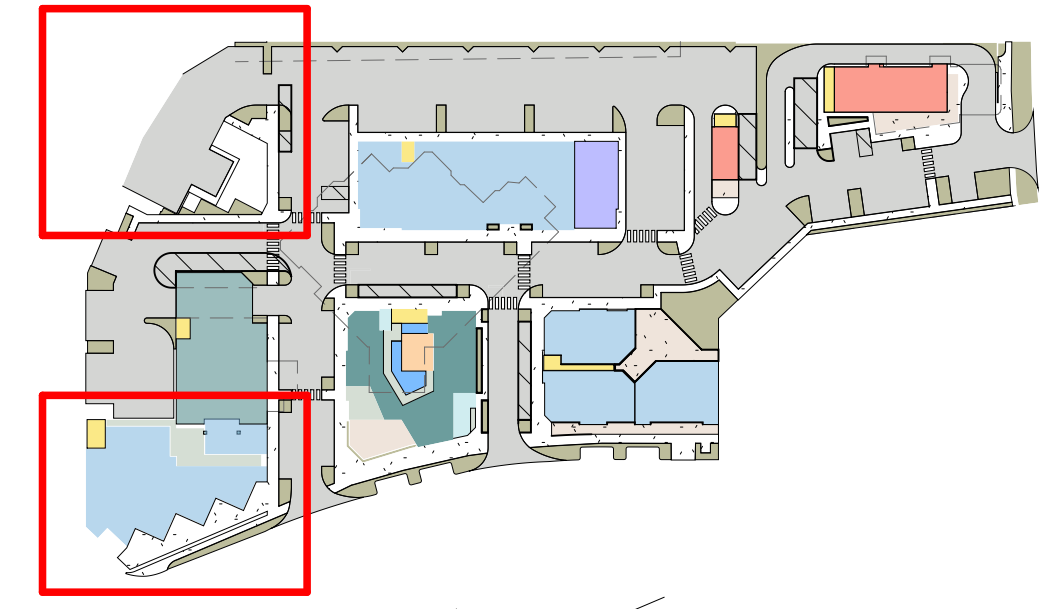
PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET

DA01.19 REV 2

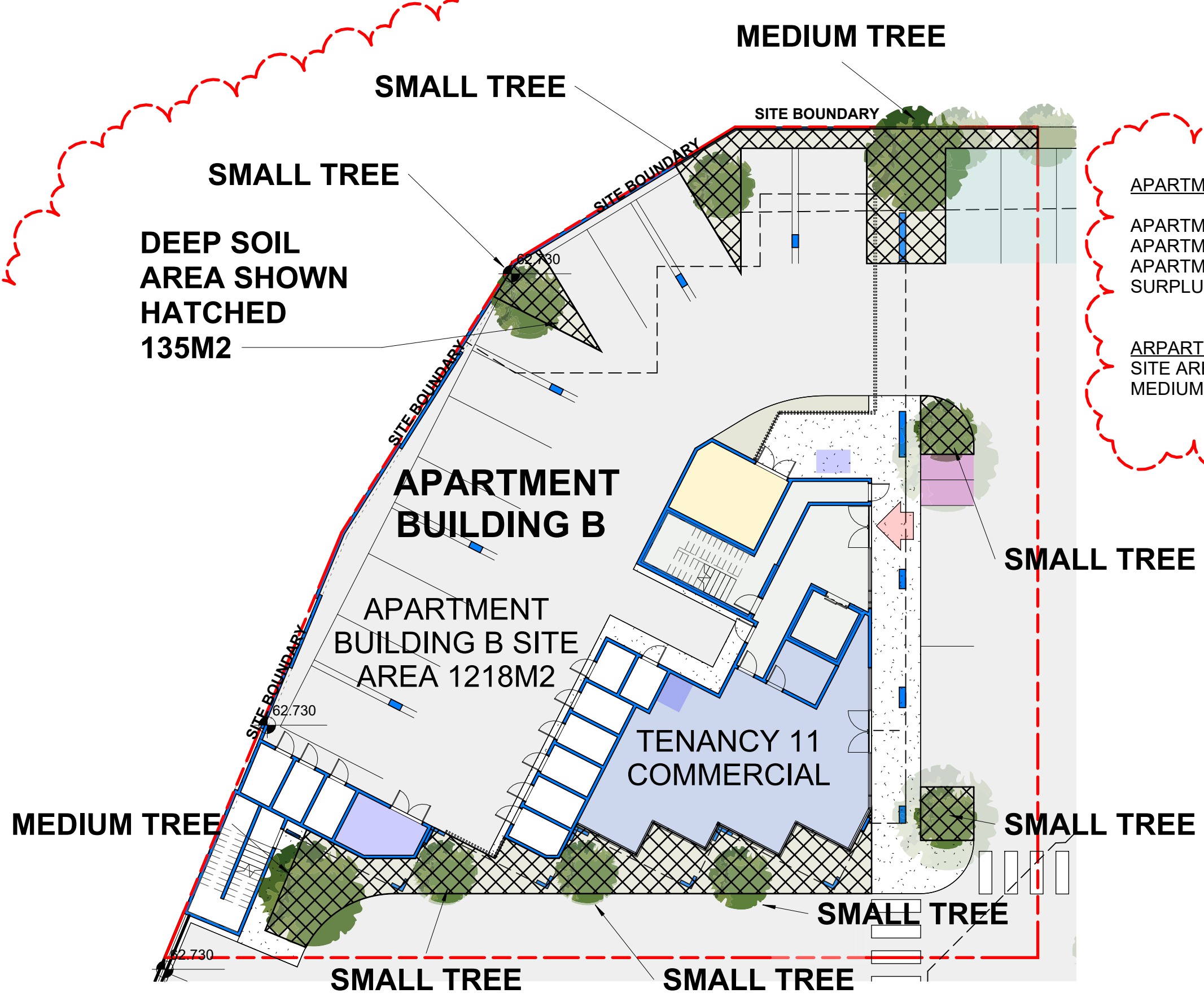
SCALE As indicated

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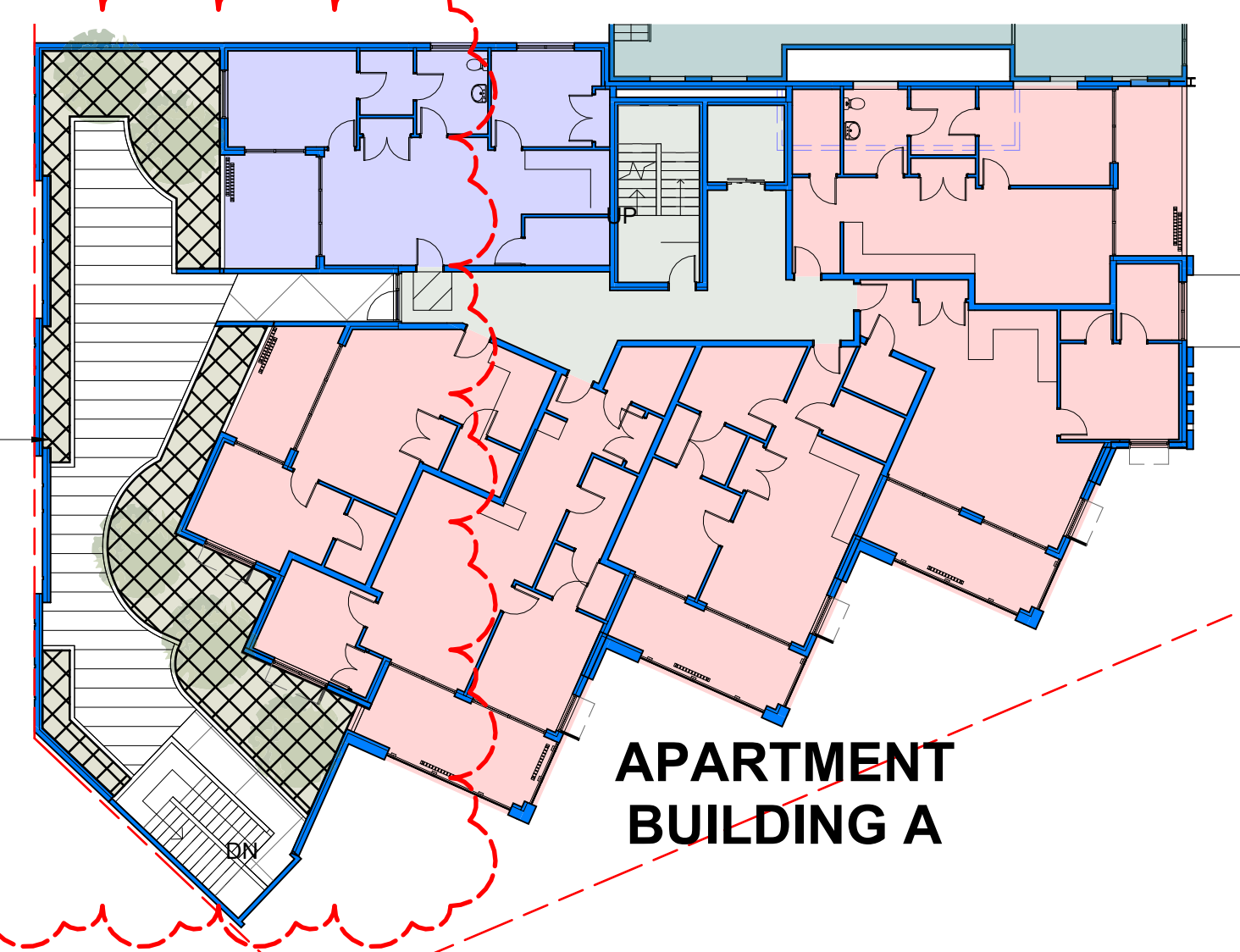
APARTMENT BUILDING B DEEP SOIL AREA REQUIREMENTS
APARTMENT BUILDING B SITE AREA = 1218.0M2
APARTMENT BUILDING B REQUIRED DEEP SOIL AREA 10% OF SITE AREA = 121.8M2
APARTMENT BUILDING B PROVIDED DEEP SOIL AREA = 135.0M2
SURPLUS AREA = 13.2M2

APARTMENT BUILDING A TREE REQUIRMENTS
SITE AREA > 1000M2 1 MEDIUM TREES REQUIRED = 2
MEDIUM TREES PROVIDED = 2



3 STE & GROUND FLOOR PLAN
1 : 200 APARTMENT BUILDING B

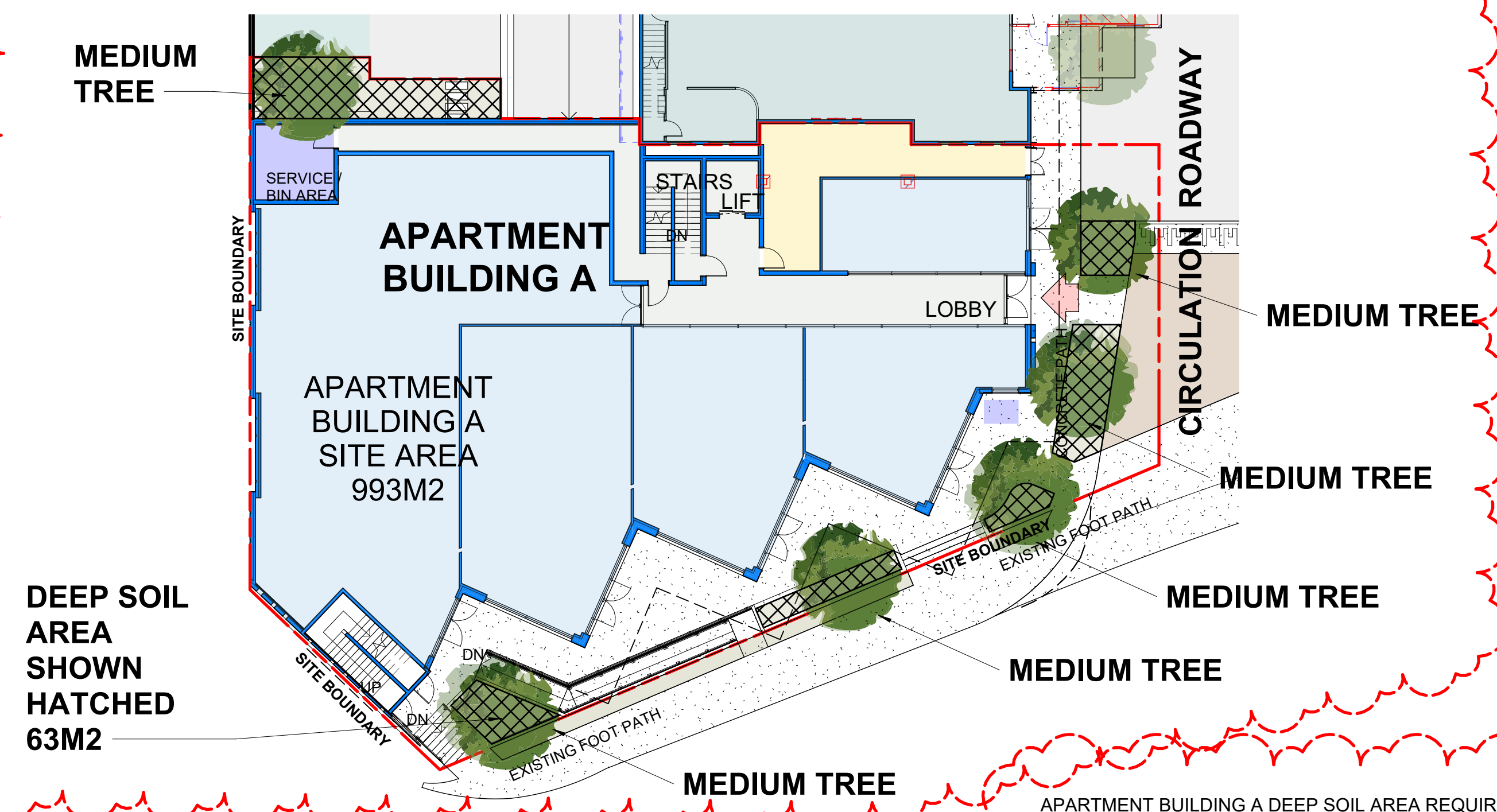
PLANTING ON STRUCTURE AREA SHOWN HATCHED 72.6M2



2 FIRST FLOOR PLAN
1 : 200 APARTMENT BUILDING A

APARTMENT BUILDING A DEEP SOIL AREA REQUIREMENTS
APARTMENT BUILDING A SITE AREA = 993.0M2
APARTMENT BUILDING A REQUIRED DEEP SOIL AREA 10% OF SITE AREA = 99.3M2
APARTMENT BUILDING A PROVIDED DEEP SOIL AREA = 63.0M2
SHORTFALL AREA = 36.3M2
PLANTING AREA ON STRUCTURE REQUIRED - 2 X SHORTFALL = 72.6M2
PLANTING AREA ON STRUCTURE PROVIDED = 72.6M2

APARTMENT BUILDING A TREE REQUIRMENTS
SITE AREA 700 - 1000M2 1 MEDIUM TREES REQUIRED = 2
MEDIUM TREES PROVIDED = 6
SURPLUS TREES PROVIDED = 4



1 STE & GROUND FLOOR PLAN
1 : 200 APARTMENT BUILDING A

BRN 13371

NO.	DESCRIPTION	DATE
	Council issue	28.04.22

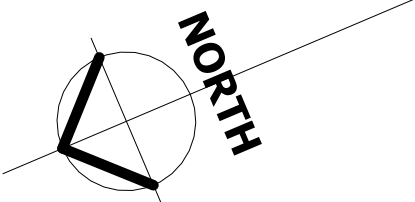
Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

PROJECT NUMBER	Project Number
DATE	Issue Date

DA01.20	REV 1
SCALE	1 : 300

12/05/2022 4:20:44 PM



STAGE ONE

STAGE TWO

CHESTERFIELD ROAD
(bitumen)

1 STAGING PLAN

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BRN 13371

NO.	DESCRIPTION	DATE
1	Prelim issue to consultants	21.07.21
2	Prelim issue to council for signage discussion	27.07.21
3	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown to silver apartments Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations . Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5,8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
7	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22

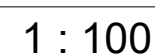
Owner

**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

PROJECT NUMBER	Project Number
DATE	Issue Date

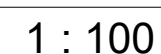
REV
7

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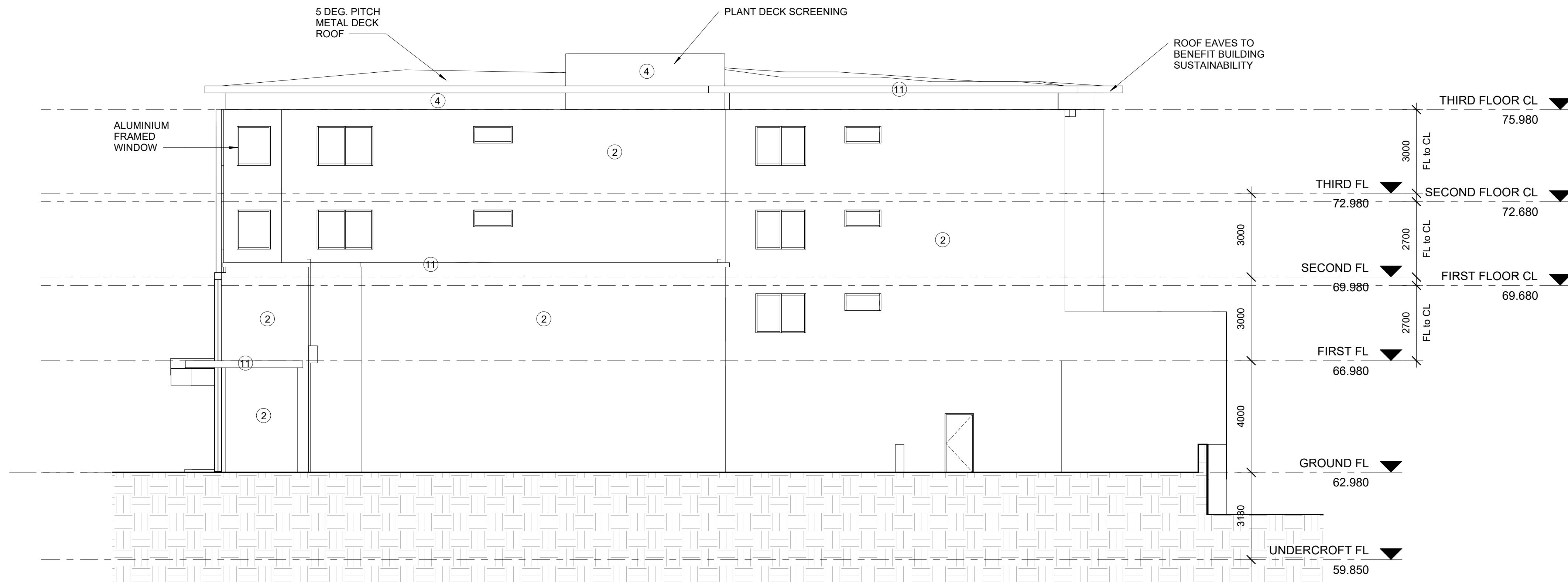


①	RED CLAY	COLOURED CONCRETE PRECAST WALL
②	WHITE	PAINTED TEXTURED WALL
③	YELLOW	PAINTED TEXTURE WALL
④	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
⑤	DARK GREY	CONCRETE BLOCK WALL
⑥	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
⑦	ASSORTED SHADES OF BLUE	COLOURED GLAZING
⑧	BLACK	PAINTED STEEL MEMBERS
⑨	LIGHT GREY	POWDERCOATED GLAZING FRAMING
⑪	BLACK	COLORBOND TRIM
⑫	BLACK	COLORBOND METAL DECK CLADDING
⑬	METALIC BLUE	ARCHITECTURAL PANEL
⑭	DARK GREY	PAINTED TEXTURE WALL

EXISTING BUILDING TO BE REFURBISHED

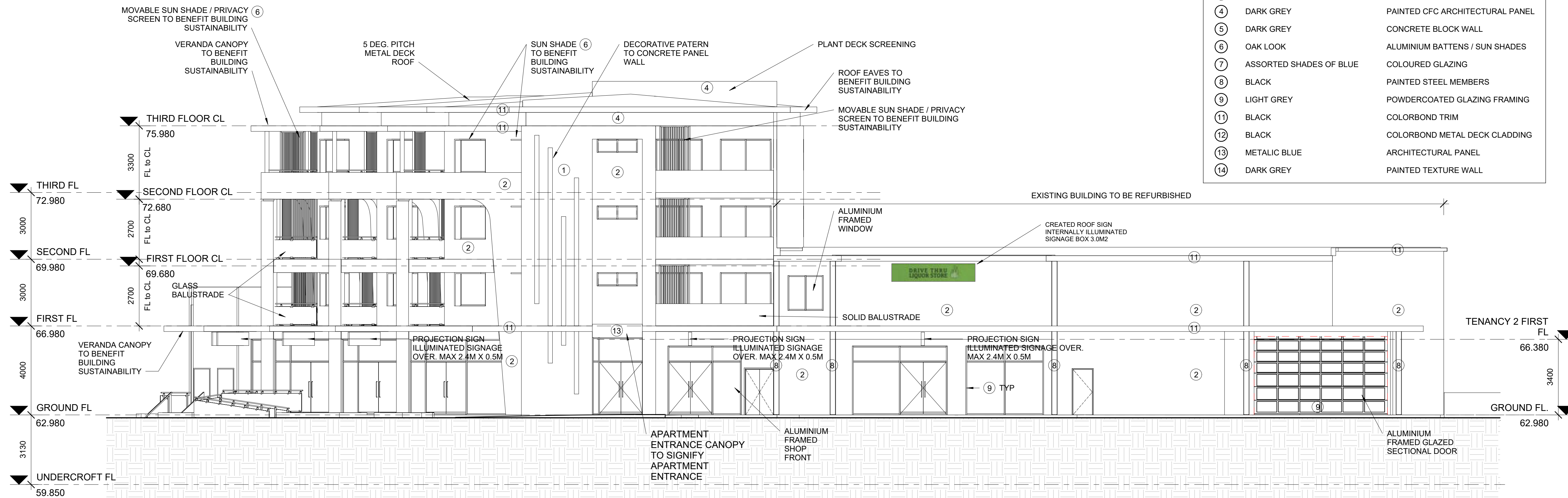


NO.	DESCRIPTION	DATE
1	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
2	Issued to consultants	16.09.21
3	Development Application Council issue	20.09.21
4	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22



3 ELEVATION
1 : 100

MATERIALS LEGEND		
①	RED CLAY	COLOURED CONCRETE PRECAST WALL
②	WHITE	PAINTED TEXTURED WALL
③	YELLOW	PAINTED TEXTURE WALL
④	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
⑤	DARK GREY	CONCRETE BLOCK WALL
⑥	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
⑦	ASSORTED SHADES OF BLUE	COLOURED GLAZING
⑧	BLACK	PAINTED STEEL MEMBERS
⑨	LIGHT GREY	POWDERCOATED GLAZING FRAMING
⑪	BLACK	COLORBOND TRIM
⑫	BLACK	COLORBOND METAL DECK CLADDING
⑬	METALIC BLUE	ARCHITECTURAL PANEL
⑭	DARK GREY	PAINTED TEXTURE WALL



4 ELEVATION
1 : 100

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner

PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

ELEVATIONS PART 2

PROJECT NUMBER
Project NumberDATE
Issue Date

A1 SIZE SHEET

DA2.02

REV
4SCALE
As indicated

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NO.	DESCRIPTION	DATE
1	Prelim issue to consultants	21.07.21
2	Prelim issue to council for signage discussion	27.07.21
3	Apartment buildings A & B added. Tenancy 1 & 11 added.	20.08.21
4	Issued to consultants	16.09.21
5	Development Application Council issue	20.09.21
6	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations. Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5,8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
7	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

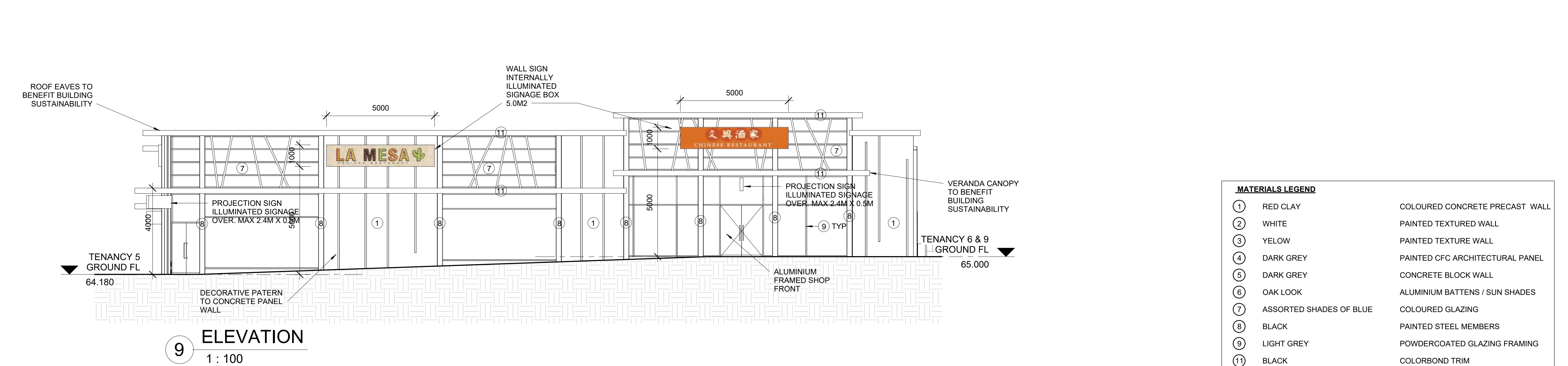
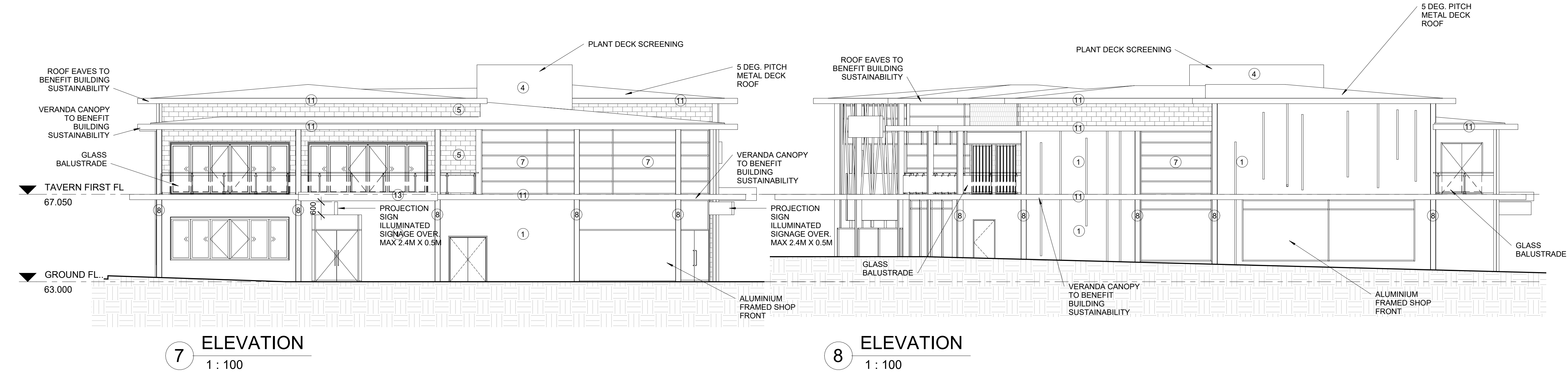
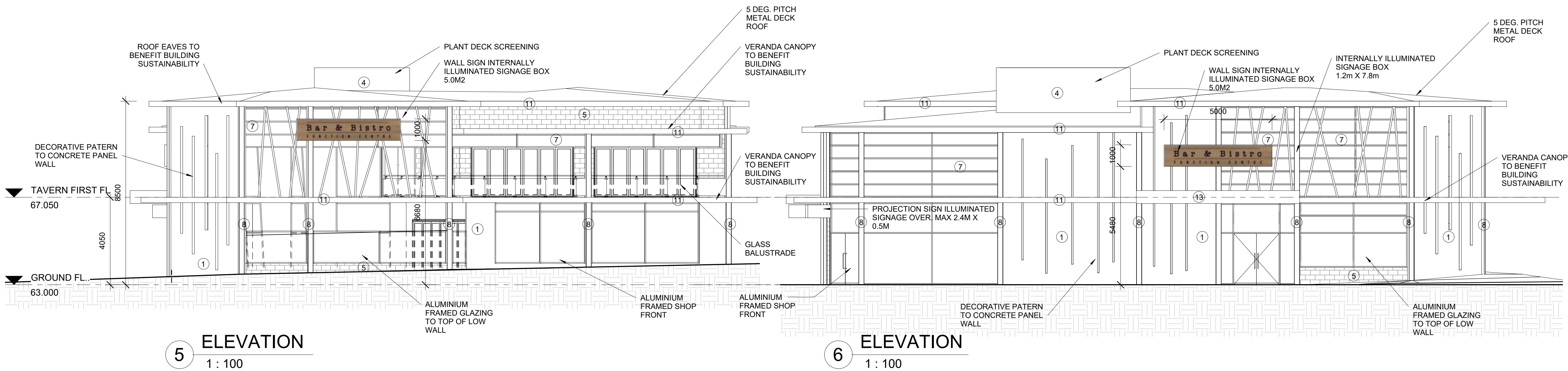
ELEVATIONS PART 3

PROJECT NUMBER
DATE
Project Number
Issue Date

A1 SIZE SHEET
DA2.03
REV 7

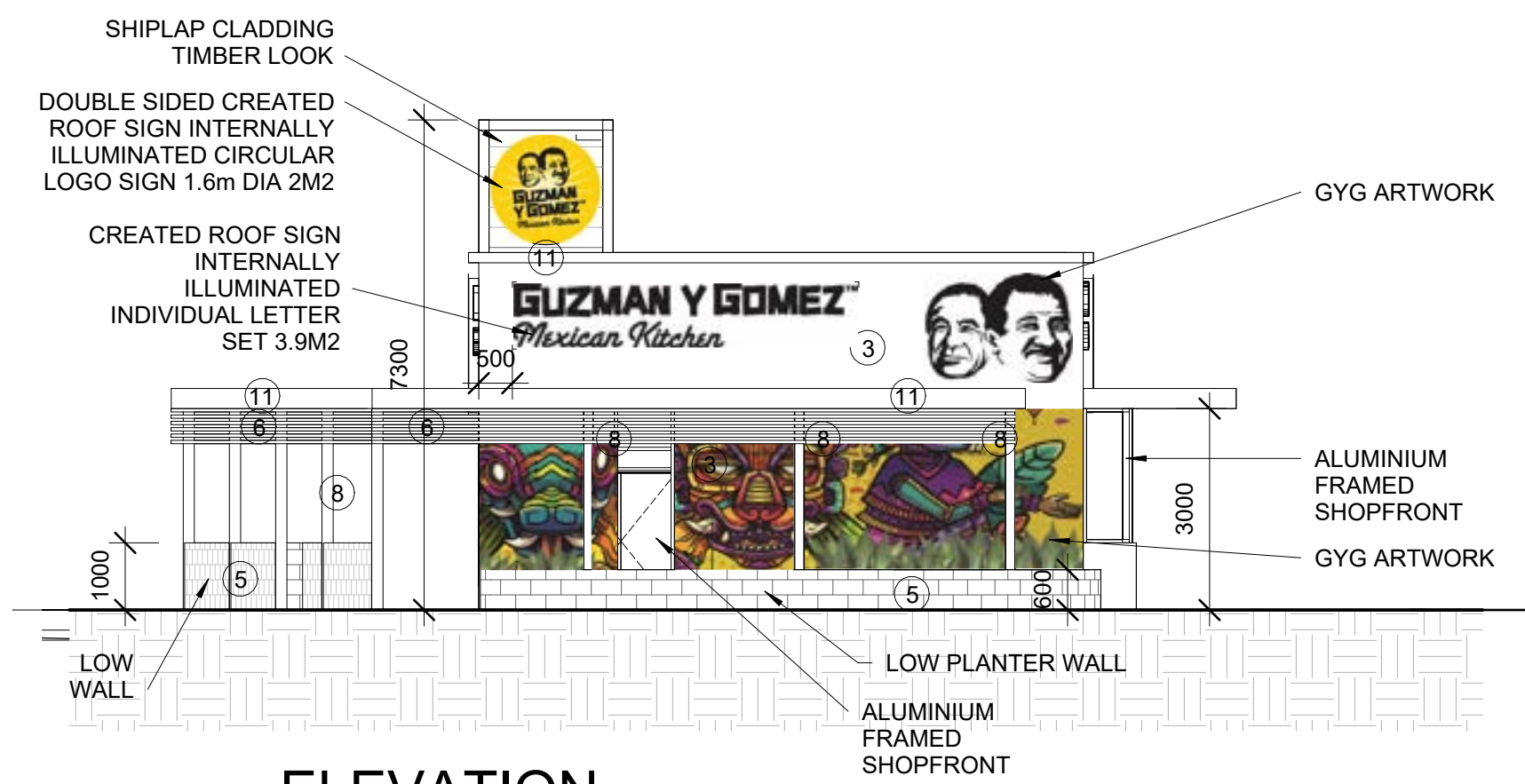
SCALE
As indicated

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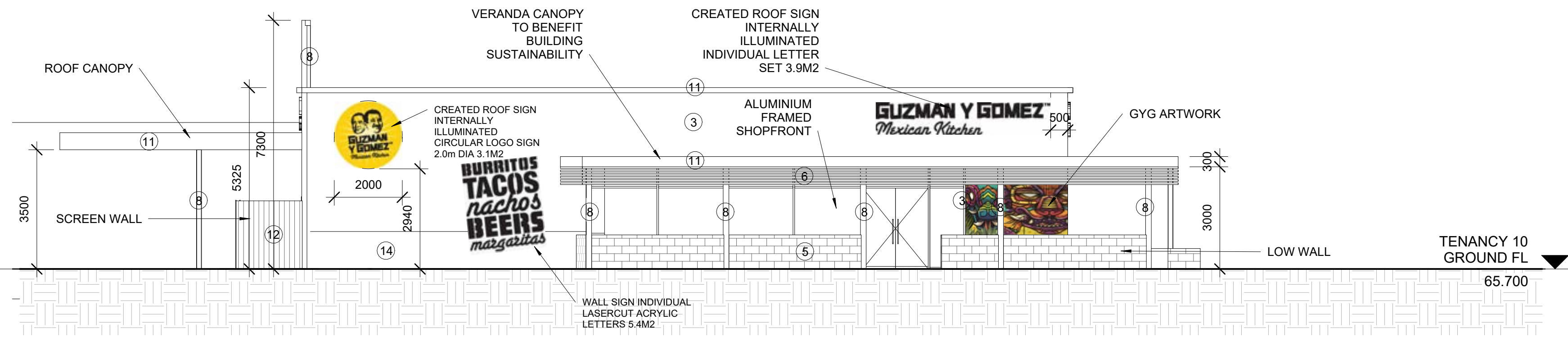


MATERIALS LEGEND		
①	RED CLAY	COLOURED CONCRETE PRECAST WALL
②	WHITE	PAINTED TEXTURED WALL
③	YELLOW	PAINTED TEXTURE WALL
④	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
⑤	DARK GREY	CONCRETE BLOCK WALL
⑥	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
⑦	ASSORTED SHADES OF BLUE	COLOURED GLAZING
⑧	BLACK	PAINTED STEEL MEMBERS
⑨	LIGHT GREY	POWDERCOATED GLAZING FRAMING
⑪	BLACK	COLORBOND TRIM
⑫	BLACK	COLORBOND METAL DECK CLADDING
⑬	METALIC BLUE	ARCHITECTURAL PANEL
⑭	DARK GREY	PAINTED TEXTURE WALL

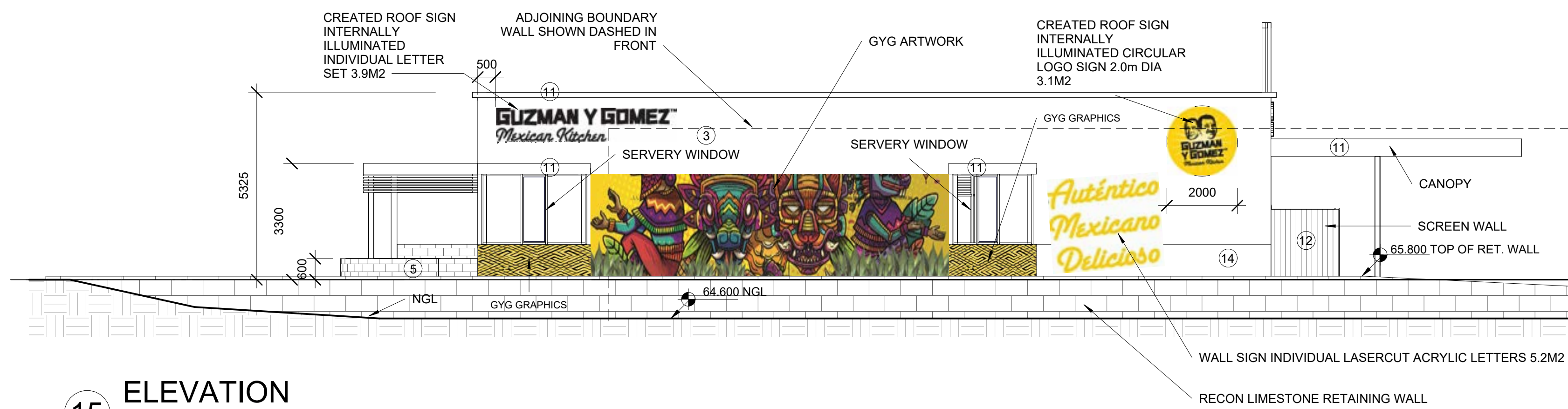
①	RED CLAY	COLOURED CONCRETE PRECAST WALL
②	WHITE	PAINTED TEXTURED WALL
③	YELLOW	PAINTED TEXTURE WALL
④	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
⑤	DARK GREY	CONCRETE BLOCK WALL
⑥	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
⑦	ASSORTED SHADES OF BLUE	COLOURED GLAZING
⑧	BLACK	PAINTED STEEL MEMBERS
⑨	LIGHT GREY	POWDERCOATED GLAZING FRAMING
⑪	BLACK	COLORBOND TRIM
⑫	BLACK	COLORBOND METAL DECK CLADDING
⑬	METALIC BLUE	ARCHITECTURAL PANEL
⑭	DARK GREY	PAINTED TEXTURE WALL



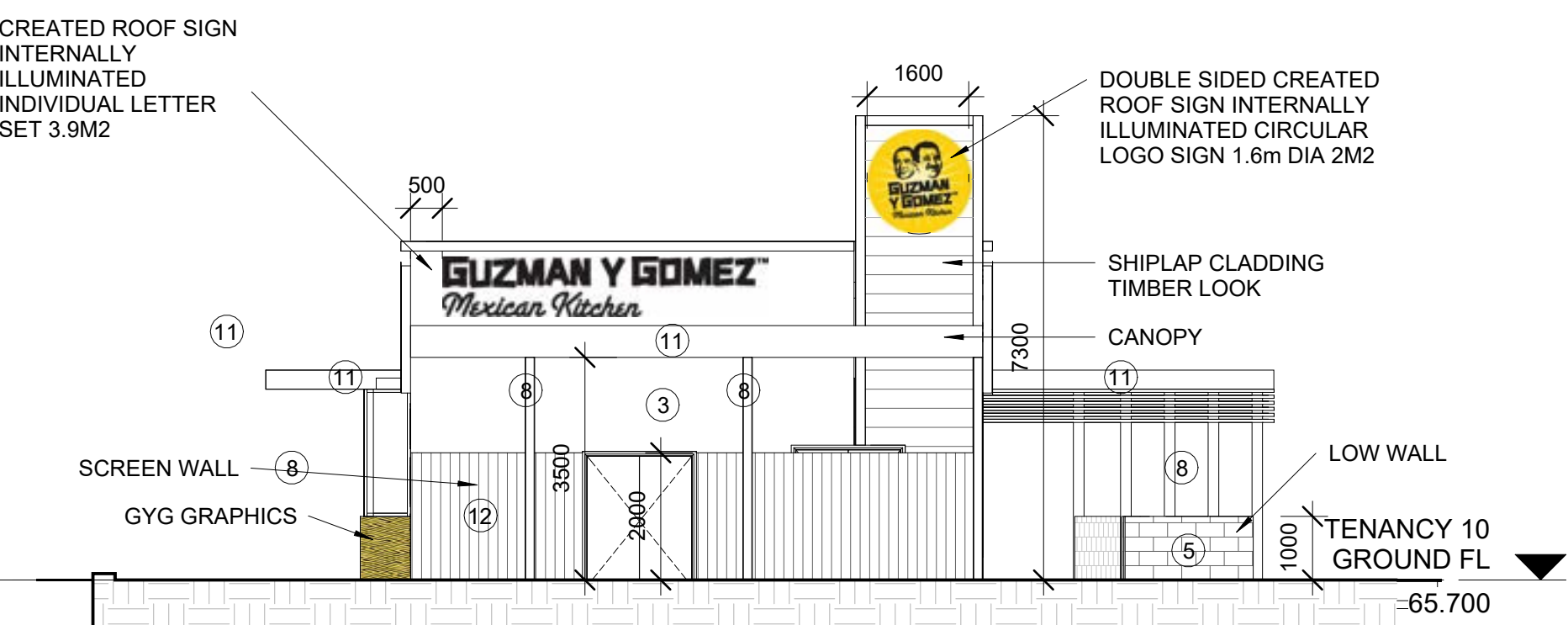
13 ELEVATION
1 : 100



14 ELEVATION
1 : 100

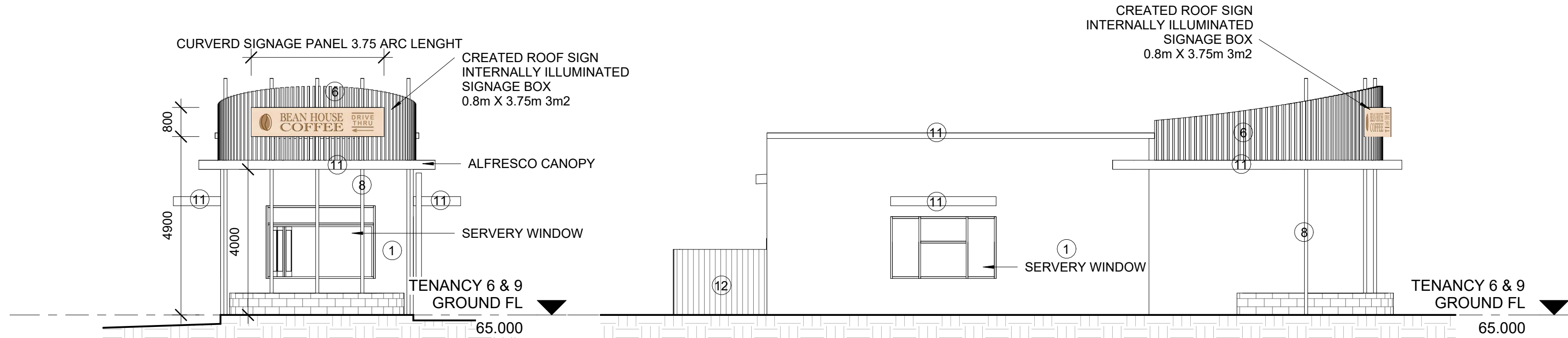


15 ELEVATION
1 : 100

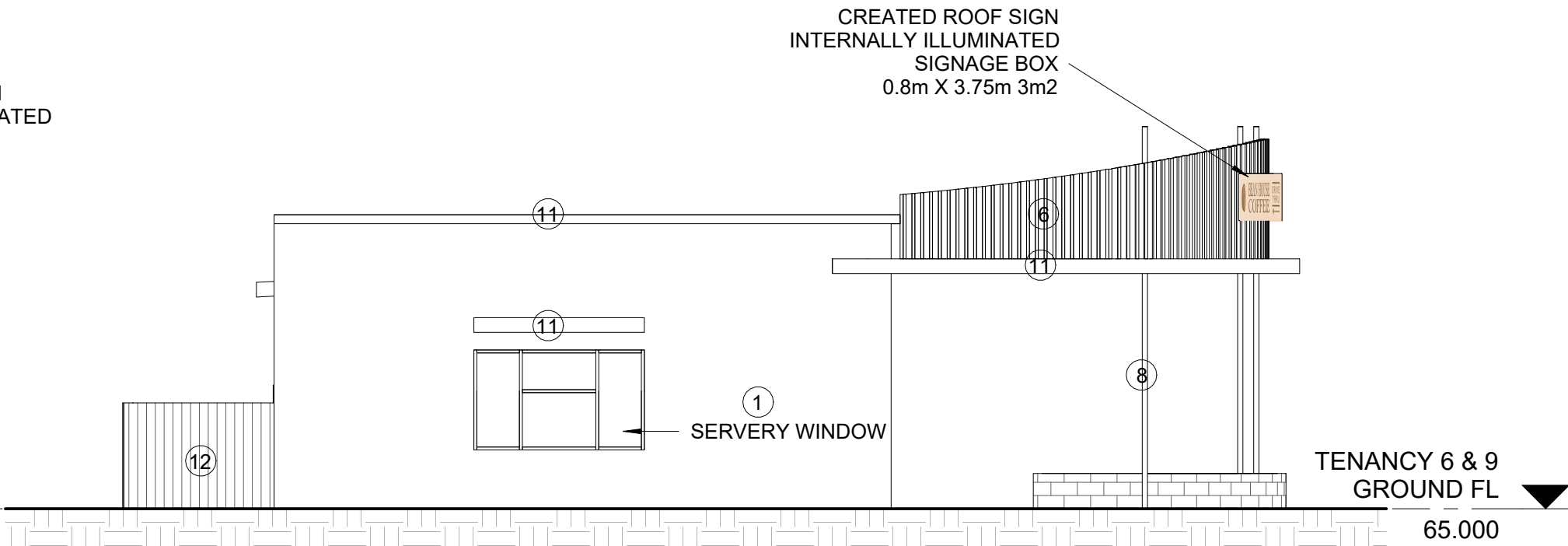


16 ELEVATION
1 : 100

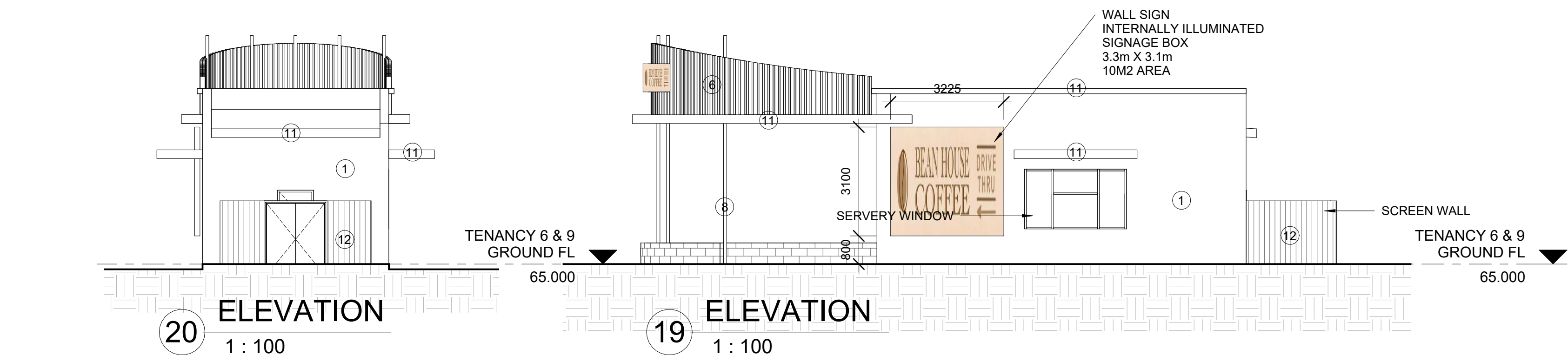
MATERIALS LEGEND		
1	RED CLAY	COLOURED CONCRETE PRECAST WALL
2	WHITE	PAINTED TEXTURED WALL
3	YELLOW	PAINTED TEXTURE WALL
4	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
5	DARK GREY	CONCRETE BLOCK WALL
6	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
7	ASSORTED SHADES OF BLUE	COLOURED GLAZING
8	BLACK	PAINTED STEEL MEMBERS
9	LIGHT GREY	POWDERCOATED GLAZING FRAMING
11	BLACK	COLORBOND TRIM
12	BLACK	COLORBOND METAL DECK CLADDING
13	METALIC BLUE	ARCHITECTURAL PANEL
14	DARK GREY	PAINTED TEXTURE WALL



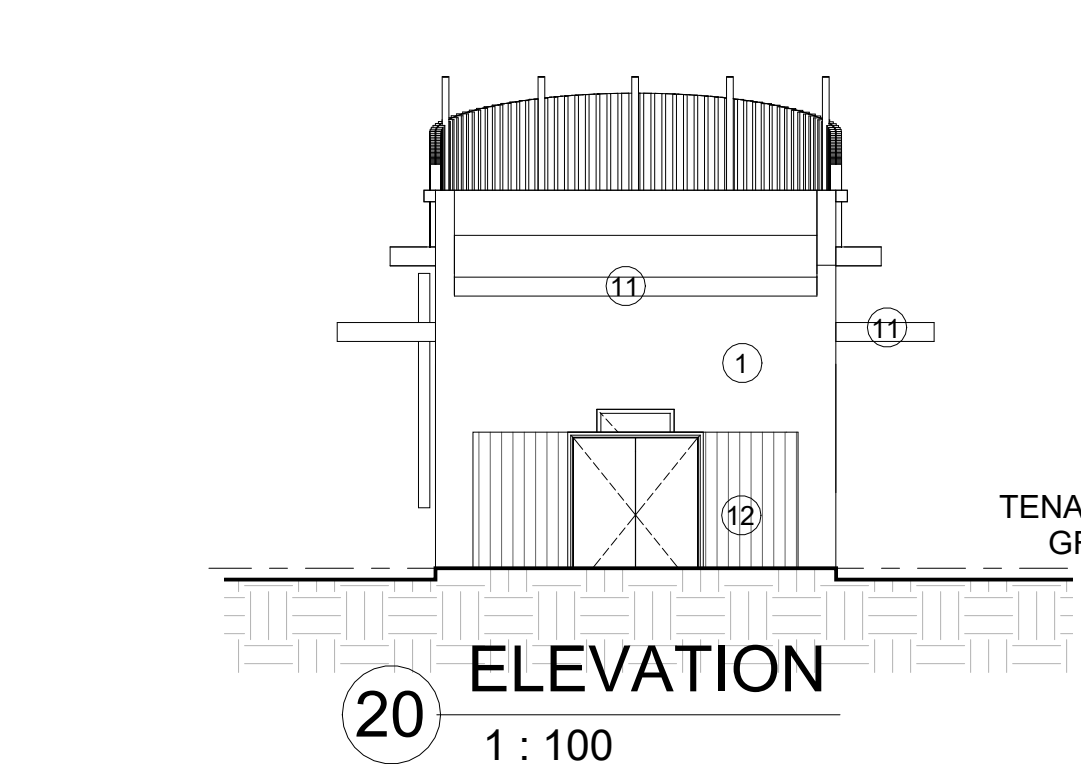
17 ELEVATION
1 : 100



18 ELEVATION
1 : 100



19 ELEVATION
1 : 100



20 ELEVATION
1 : 100

BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371 ABN
TEL: 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
8	Car park and crossover arrangement amended, first floor shop front added in lieu of third party digital signage, GYG signage, line marking and graphics added. height bar and orderscreen locations shown, traffic signage and line marking added. GYG pylon sign added. GYG alfresco area amended to suit new car park layout. Pay and pick up awnings joined.	22.02.2022
9	Additional gyg graphics added to pay window walls, two additional directional signs added , waiting bay sign added.	09.03.22
10	Two storey portion of building deleted.GYG artwork graphics added, shopfront lengthened, alfresco area area to front of building increased in size , alfresco canopy arangemnt amended to suit.bin area relocated internally, service yard reduced in size, drive thru lane arrangement amended , waiting bay relocated, planter boxes added to tenancy 9 and 10,crossover arrangement amended,car park arrangement amended, pylon sign added , wall and creative roof signage amended	28.04.22

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner

PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

ELEVATIONS PART 5

PROJECT NUMBER Project Number

DATE Issue Date

A1 SIZE SHEET

DA2.05

REV 10

SCALE As indicated

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12/05/2022 4:21:04 PM

BUILDING WORKSHOP

BRN 13371

REG. BUILDER NO. 13371 ABN
TEL: 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Apartment buildings A & B added, Tenancy 1 & 11 added	20.08.21
2	Issued to consultants	16.09.21
3	Development Application Council issue	20.09.21
4	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

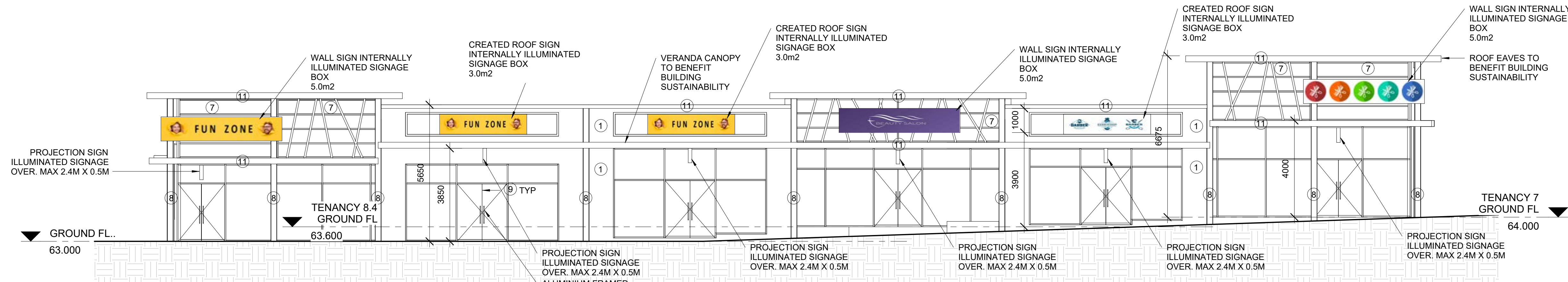
ELEVATIONS PART 6

PROJECT NUMBER
DATE
Project Number
Issue Date

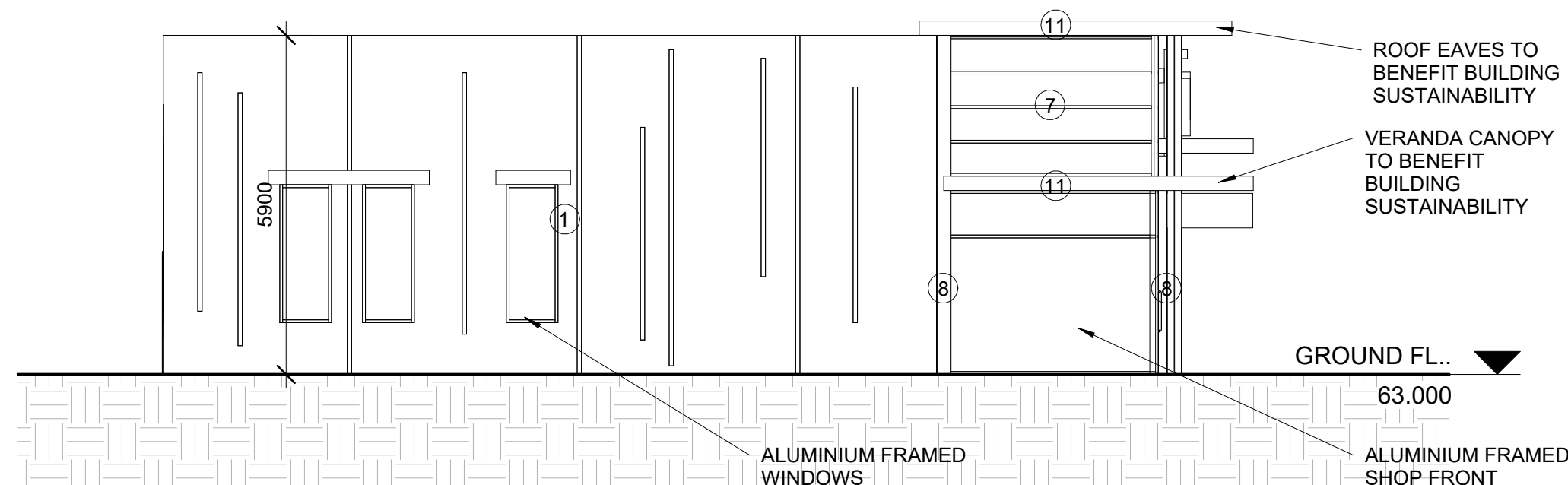
A1 SIZE SHEET
DA2.06
REV 4

SCALE
As indicated

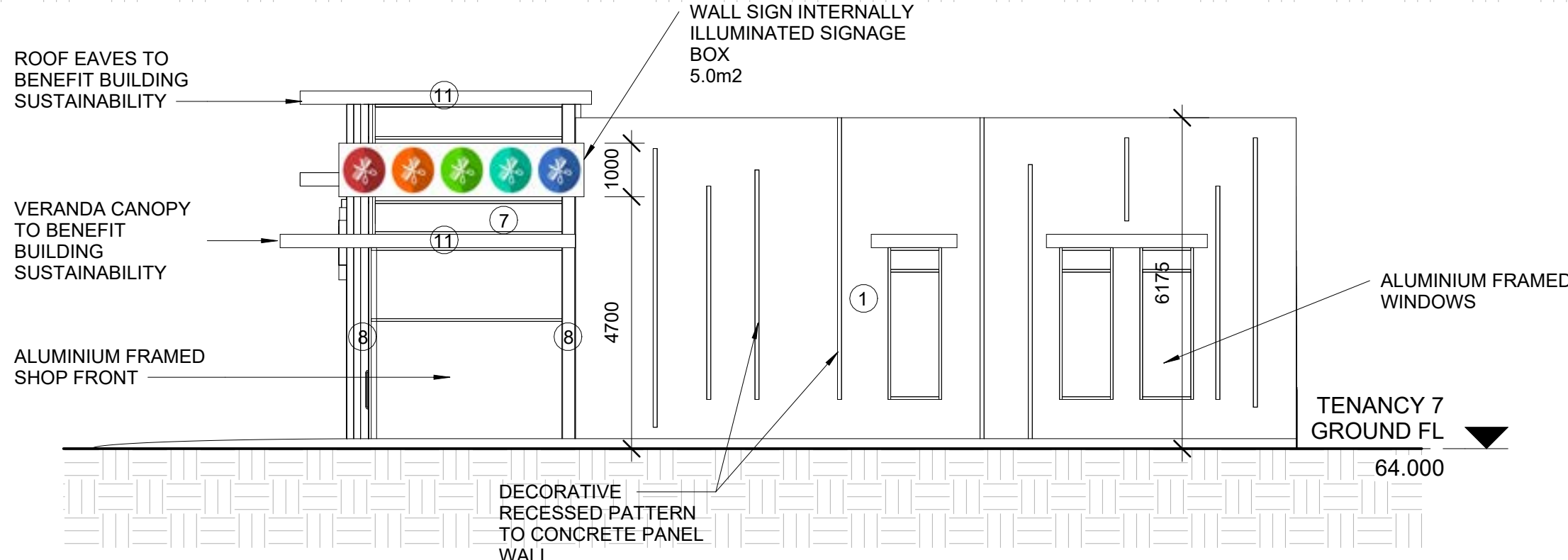
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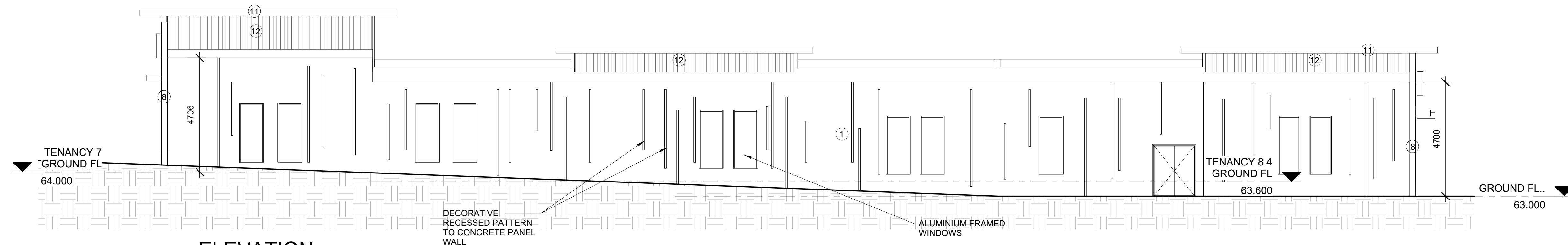
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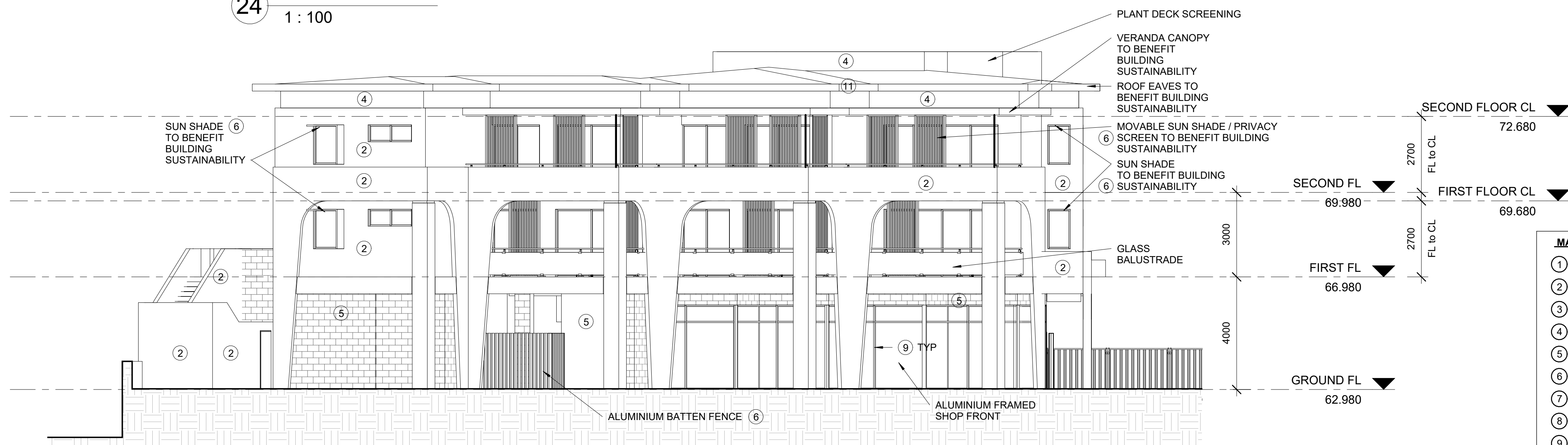
22 ELEVATION
1 : 100



23 ELEVATION
1 : 100



24 ELEVATION
1 : 100



25 ELEVATION
1 : 100

MATERIALS LEGEND

1	RED CLAY	COLOURED CONCRETE PRECAST WALL
2	WHITE	PAINTED TEXTURED WALL
3	YELLOW	PAINTED TEXTURE WALL
4	DARK GREY	PAINTED CFC ARCHITECTURAL PANEL
5	DARK GREY	CONCRETE BLOCK WALL
6	OAK LOOK	ALUMINIUM BATTENS / SUN SHADES
7	ASSORTED SHADES OF BLUE	COLOURED GLAZING
8	BLACK	PAINTED STEEL MEMBERS
9	LIGHT GREY	POWDERCOATED GLAZING FRAMING
11	BLACK	COLORBOND TRIM
12	BLACK	COLORBOND METAL DECK CLADDING
13	METALIC BLUE	ARCHITECTURAL PANEL
14	DARK GREY	PAINTED TEXTURE WALL

NO.	DESCRIPTION	DATE
1	Apartment buildings A & B added. Tenancy 1 & 11 added.	20.08.21
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4	Clearance templates shown to silver apartments. Apartment building A third floor shown on separate sheet. Rls' added to carpark / driveways / Crossovers, Rls' added to elevations. Setback dims added to apartment building A, second and third floors with site boundary shown. Colour & material schedule added. Tenancy 7 FL shown. Tenancy 5,8 & alfresco dining FL noted correctly on floor & site plan.	25.10.21
5	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

ELEVATIONS PART 7

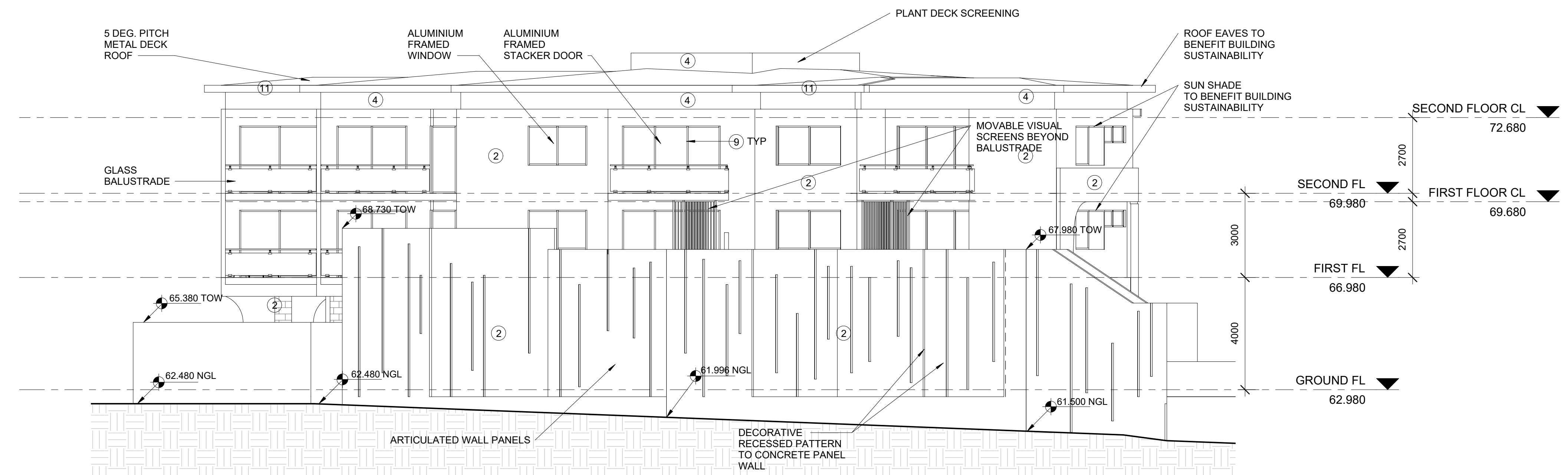
PROJECT NUMBER	Project Number
DATE	Issue Date

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DA2.07	REV 5

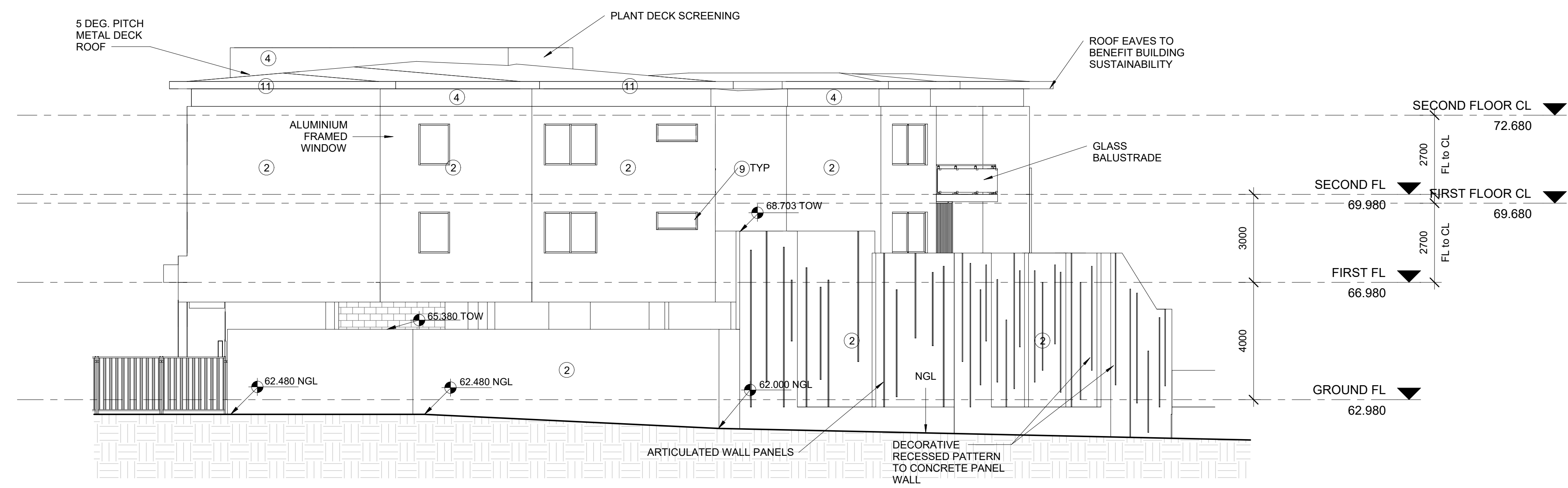
SCALE	As indicated
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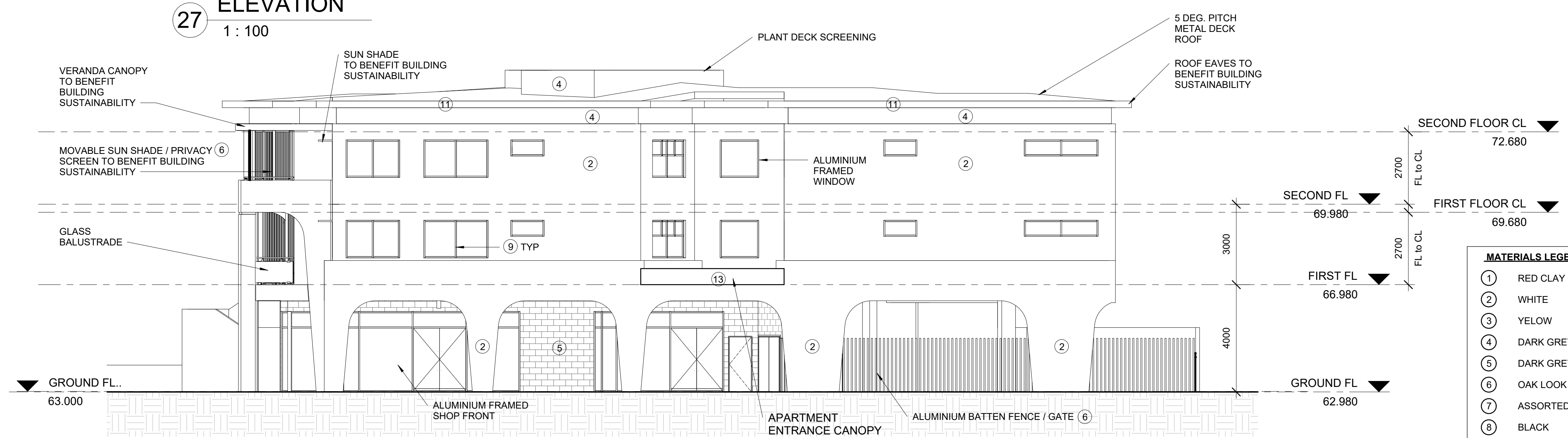
12/05/2022 4:21:12 PM



26 ELEVATION
1 : 100



27 ELEVATION
1 : 100



28 ELEVATION
1 : 100

MATERIALS LEGEND		
①	RED CLAY	COLOURED CONCRETE PRECAST WALL
②	WHITE	PAINTED TEXTURED WALL
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⑨	LIGHT GREY	POWDERCOATED GLAZING FRAMING
⑪	BLACK	COLORBOND TRIM
⑫	BLACK	COLORBOND METAL DECK CLADDING
⑬	METALIC BLUE	ARCHITECTURAL PANEL
⑭	DARK GREY	PAINTED TEXTURE WALL

BRN 13371

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Owner

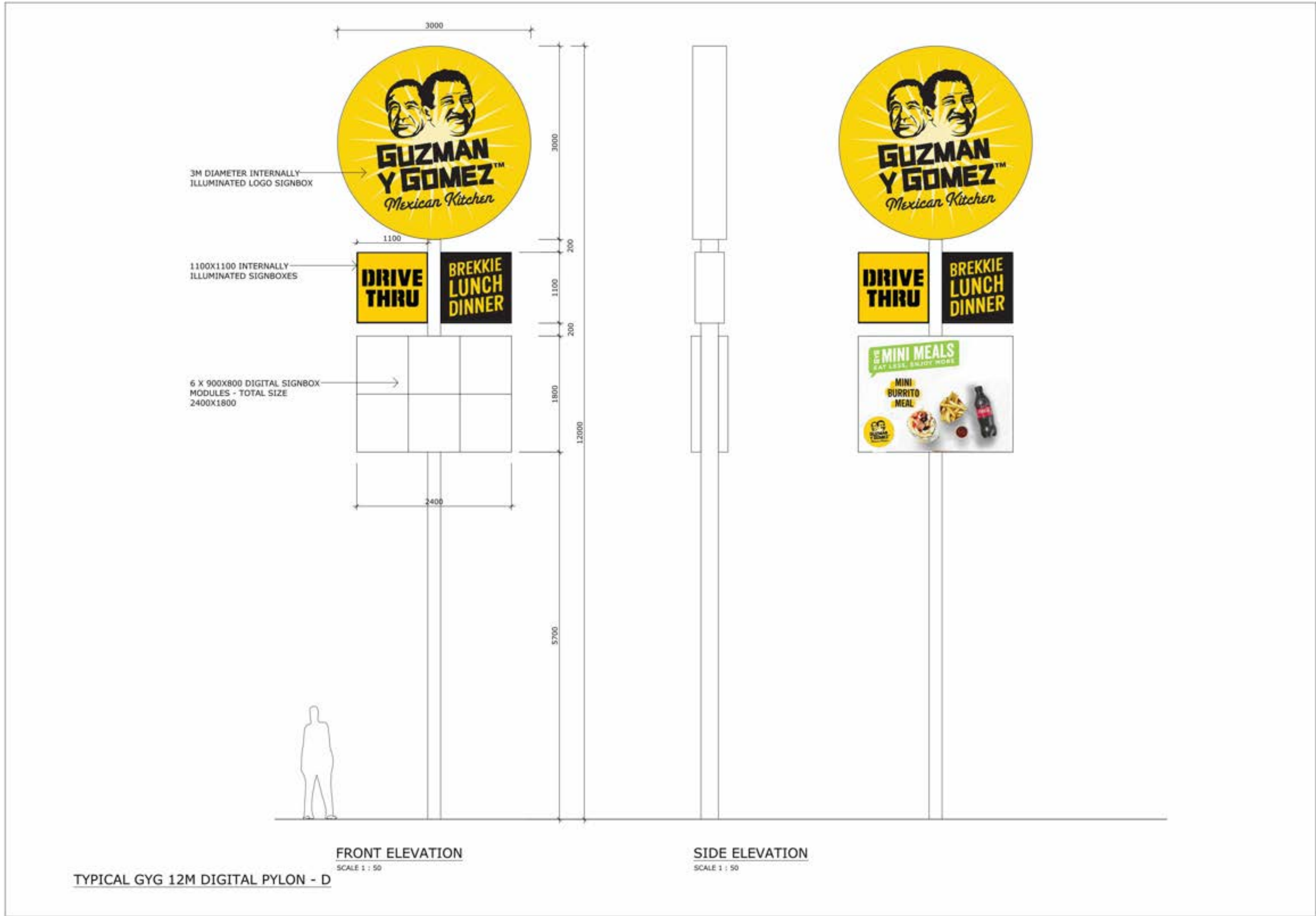
PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

PROJECT NUMBER	Project Number
DATE	Issue Date

SCALE 1 : 300

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1 GYG PYLON SIGN
1 : 50

BUILDING
WORKSHOP

BRN 13371

REG. BUILDER NO. 13371 ABN
TEL: 08 - 9201 9555 74145135002
EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

NO.	DESCRIPTION	DATE
1	Council issue	28.04.22

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka & Lot 12875 on DP188493 (10A) Chesterfield Road , Mirrabooka

Owner
PROPOSED REDEVELOPMENT OF EXISTING MIRRABOOKA TAVERN SITE

PYLON SIGN DETAIL

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET	
DA2.09	REV 1
SCALE	1 : 50

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EMAIL: bw@buildingworkshop.com.au
UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

Project Address

Strata Lots 3 & 4 (8 & 10) Chesterfield
Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner

**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

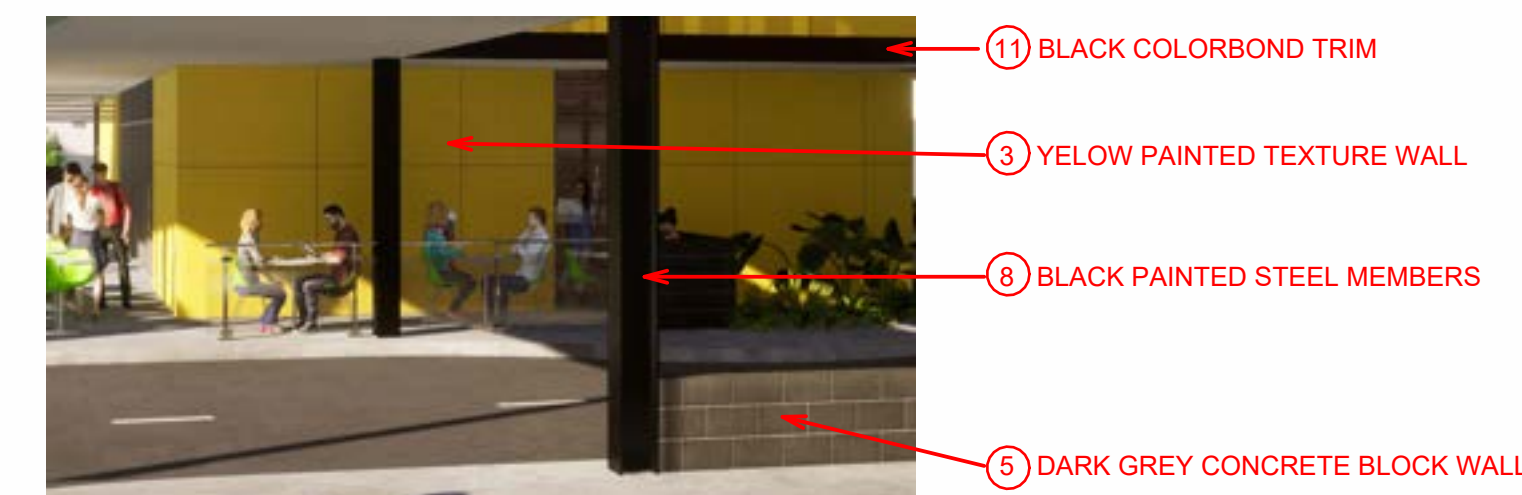
COLOUR AND
MATERIALS
SCHEDULE PART 1

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET	
DA2.11	REV 2

SCALE	As indicated
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UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield
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Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

Owner

**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

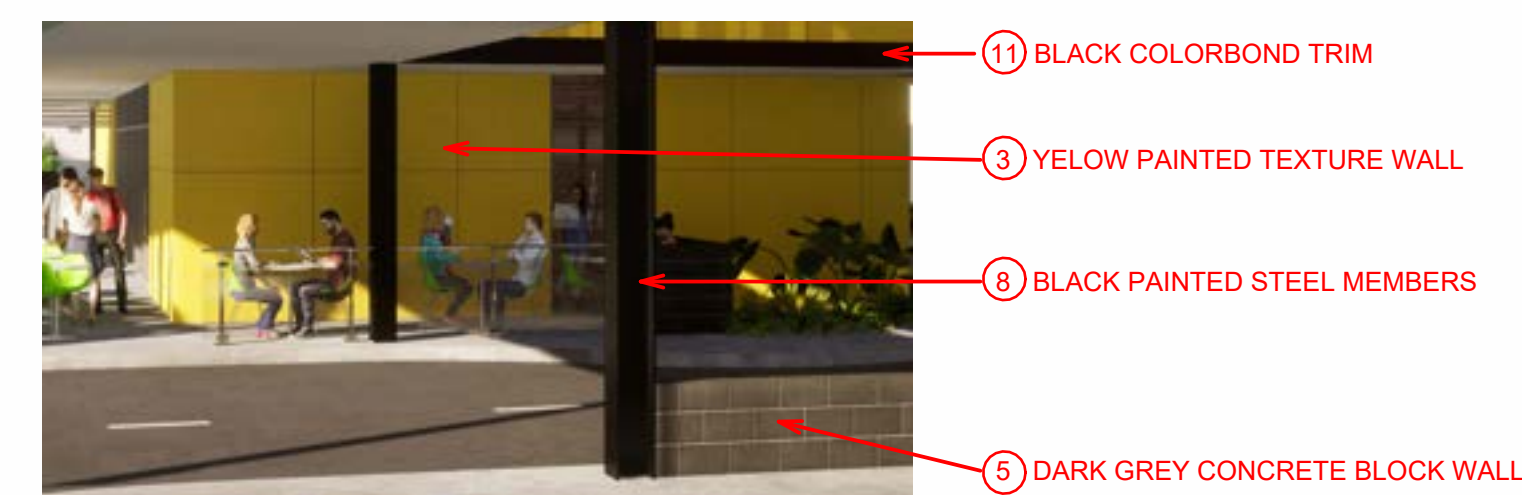
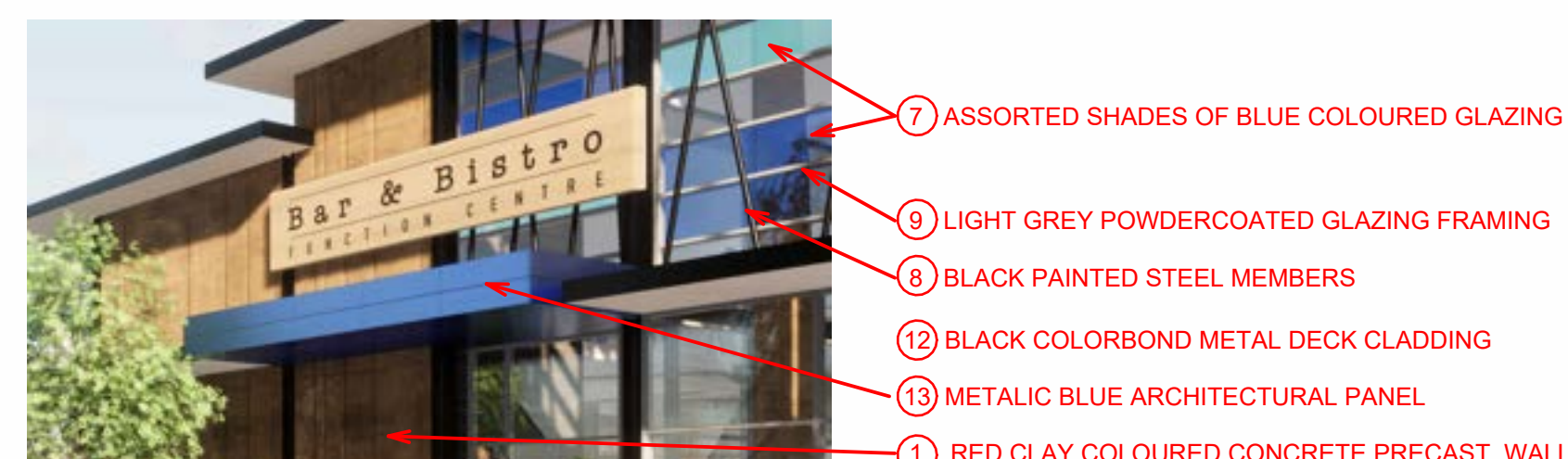
COLOUR AND
MATERIALS
SCHEDULE PART 2

PROJECT NUMBER	Project Number
DATE	Issue Date

A1 SIZE SHEET	
DA2.12	REV 2

SCALE As indicated

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BRN 13371

NO.	DESCRIPTION	DATE
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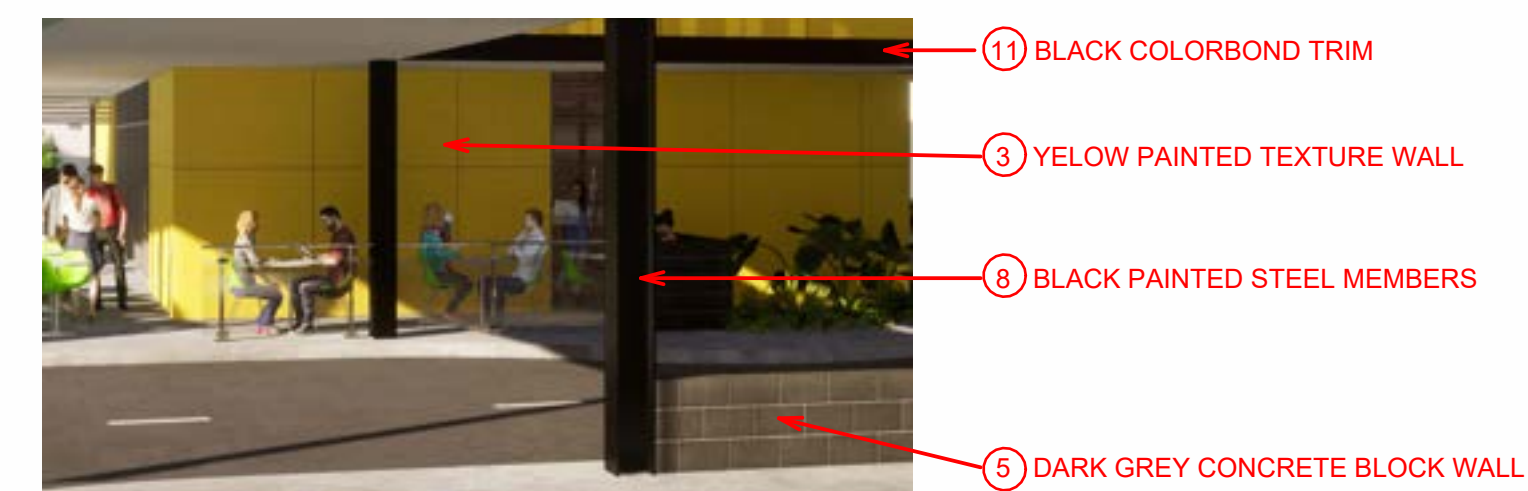
Strata Lots 3 & 4 (8 & 10) Chesterfield Road, Mirrabooka &
Lot 12875 on DP188493 (10A)
Chesterfield Road, Mirrabooka

COLOUR AND
MATERIALS
SCHEDULE PART 3

DATE	Issue Date
------	------------

RE
2

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BRN 13371

NO.	DESCRIPTION	DATE
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2	concrete panel walling articulation added, decorative recesses added to wall panels, signage arrangements amended, apartment screening arrangements amended, windows added	28.04.22

[illegible]

Owner

**PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE**

PROJECT NUMBER	Project Number
DATE	Issue Date

SCALE	As indicated
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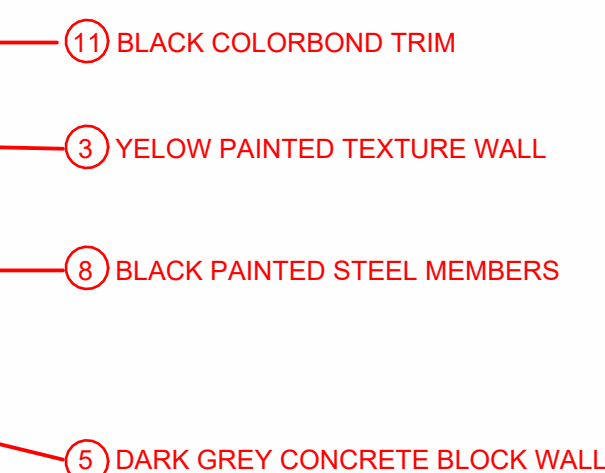
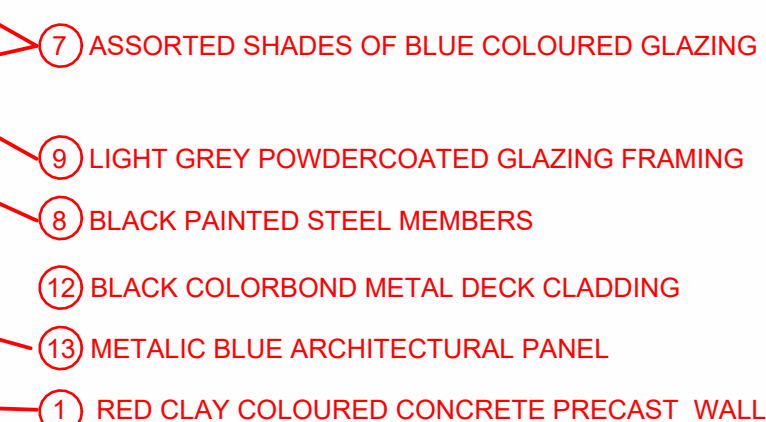
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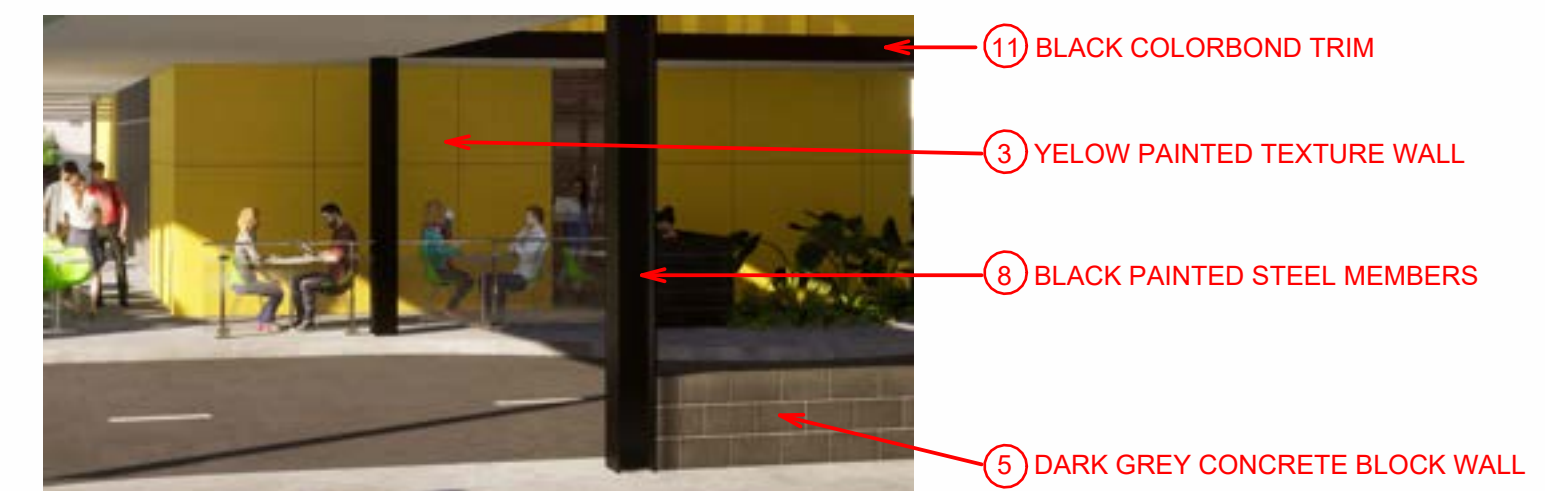


DECORATIVE PATTERN
TO CONCRETE PANEL
WALL



6 PLAY GROUND
VISUALLY
PERMEABLE
FENCE
1.8 AVERAGE HT





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TEL: 08 - 9201 9555 74145135002
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UNIT 1/125 MAIN STREET, OSBORNE PARK WA 6017

Project Address
Strata Lots 3 & 4 (8 & 10) Chesterfield
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Lot 12875 on DP188493 (10A)
Chesterfield Road , Mirrabooka

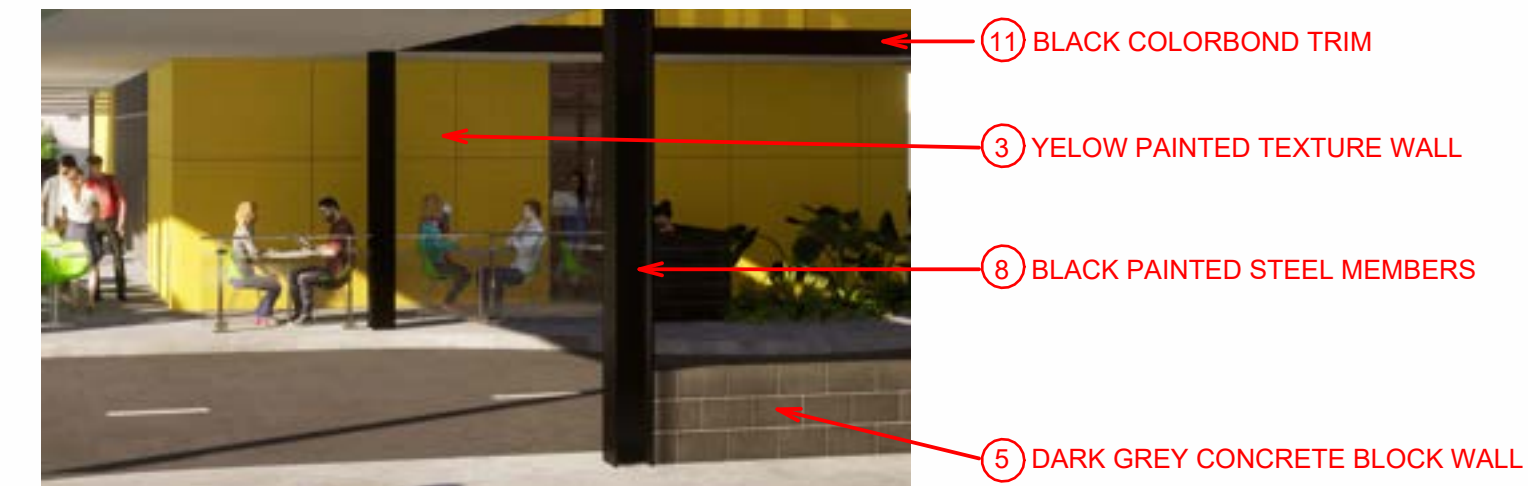
Owner

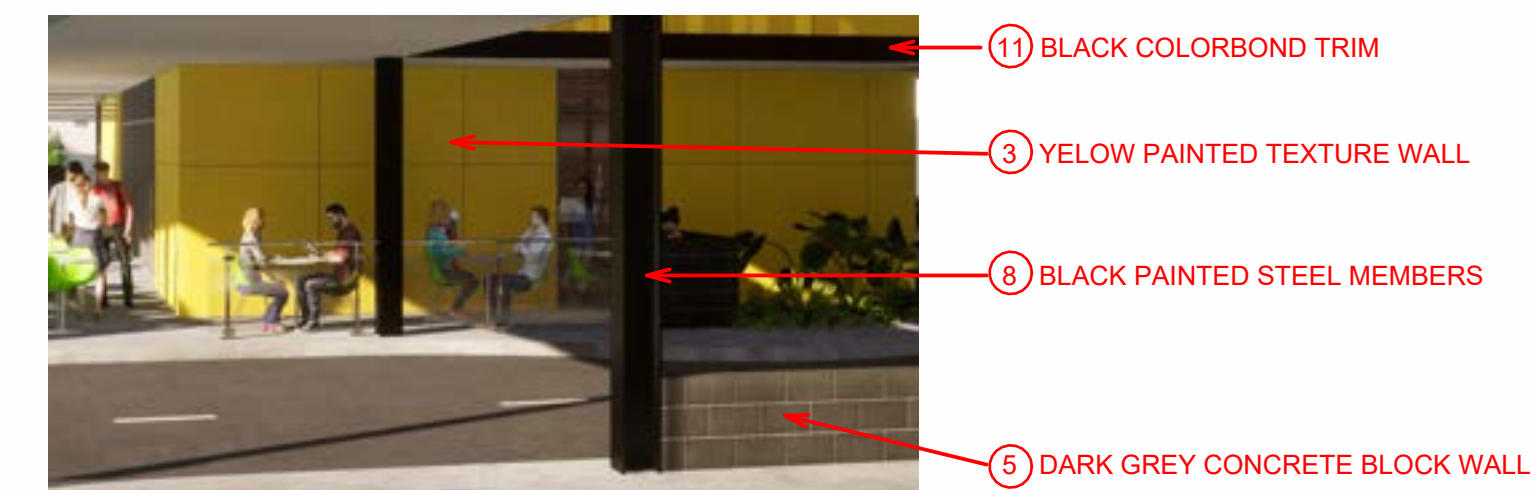
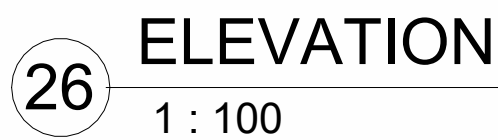
PROPOSED
REDEVELOPMENT
OF EXISTING
MIRRABOOKA
TAVERN SITE

COLOUR AND
MATERIALS
SCHEDULE PART 6

A1 SIZE SHEET	
DA2.16	REV 2

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PROJECT NUMBER	Project Number		
DATE	Issue Date		
A1 SIZE SHEET			
DA2.17			REV 2
SCALE	As indicated		
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