

Design Review Report – Item 1

Local government:	City of Stirling	
Item no.:	Item 1 - DA24/1064 – 308 Main Street, Balcatta – Development Assessment Panel – Form 1 – Child Care Premise	
Chairperson:	Philip Gresley	
Panel members:	Lisa Shine Jackson Liew Tony Blackwell (comments only)	
Local government officers:	Peter Prendergast Dean Williams Shaun Wheatland Karina Bowater Simone Palmer	Service Lead Planning Coordinator Planning Senior Planning Officer Senior Planning Officer DRP Support Officer
Observers	Kymba Fennessy	Project Officer – Trees
Date:	24 October 2024	Time: 2pm
Venue:	City of Stirling – Challenger Room	

Proponent/s		
	Alan Stewart Chris Hindley Chris Lawrence Leon Abrusci	Lateral Planning (<i>Applicant</i>) Hindley & Associates Nature Play Solutions Project Construction
	Owners	Happy Felix Balcatta Pty Ltd

Observer/s

Briefings		
Development assessment overview	Shaun Wheatland	Senior Planning Officer
Technical issues	Shaun Wheatland	Senior Planning Officer
Design Review		
Proposed development	Item 1 - DA24/1064 – 308 Main Street, Balcatta – Development Assessment Panel – Form 1 – Child Care Premise	
Property address	308 Main Street, Balcatta	
Background		
Proposal		
Applicant or applicant's representative address to the design review panel	Alan Stewart Chris Hindley Chris Lawrence	Lateral Planning Hindley & Associates Nature Play Solutions
Key issues / recommendations	The proposal for a single-storey childcare centre remains supported in principle; however, significant design improvements are needed to gain full	

	Panel endorsement. Key recommendations from DRP2 focused on enhancing the building's connection to its local context, as the design still reflects a retail character. Recommended improvements include (but not be limited to) a more suitable choice of brick and further integration of the front fence to strengthen ties to the surrounding streetscape. The Panel reiterated the need for improved site planning, specifically relocating the car park to the south to increase access to northern light for activity spaces. Given the Applicant's reluctance to adjust the car park location, the Panel recommended further design revisions and solar studies to optimize passive solar performance, particularly for east- and west-facing glazing. Additional suggestions included refining the entry portal for improved circulation, replacing shade sails with shading options better aligned to the architectural style, and providing clearer sustainability commitments. Refer to attached Design Quality Evaluation Report.
Chairperson signature	

Design quality evaluation Item 1 – DA24/1064 – 308 Main Street, Balcatta – Development Assessment Panel – Form 1 – Child Care Premise DRP Meeting – Thursday 24 October 2024		
	S	<i>Design Principle satisfied</i>
	P	<i>Design Principle pending further attention</i>
	N	<i>Design Principle not satisfied</i>
Principle 1 Context and character		<i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>
	N	1a. The proposal has not significantly developed in its response to Context and Character since DRP1. The Panel noted that there is still limited information provided about how the proposal enhances the distinctive characteristics of the local area or contributes to a sense of place. The Panel again suggests that a more comprehensive analysis be undertaken to inform a revised design approach. This might include the local streetscape and examples of materials or design features that are intrinsic to this location. 1b. The Panel noted a missed opportunity regarding the type of brick proposed and its connection to the surrounding context. The images depict salmon and red brick. The Applicant is encouraged to consider the entire streetscape to avoid introducing a brick type that feels out of place. 1c. The updated proposal is still reminiscent of a suburban retail outlet and would benefit from consideration of its use in its design. This can be challenging with Childcare as it is a commercial venture within a residential location. The Panel suggests the materiality and form of the building be reconsidered and the introduction of some more playful elements might assist. 1d. The Panel continued its support of a single storey development in this location. 1e. The Panel acknowledges improvement in the design of the front fence with the addition of brickwork but believes it requires further refinement to create a stronger streetscape interface. It is recommended that more articulation be explored through arrangement and detailing of materials.
Principle 2 Landscape quality		<i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i>
	P	2a. The retention of many of the existing trees is strongly supported. 2b. The Panel commented there is a reasonably generous setback of car bays to allow for planting of trees. 2c. It was noted by the Panel the fall zones are now indicated on the plans and appear to be adequately accommodated. 2d. Clarification was provided around the Corymbia “Beeliar Orange” tree being technically on the shot hole borer list. After a brief discussion it was confirmed this tree is a hybrid and is a satisfactory choice. 2e. A paving audit was undertaken and provided to the Panel which was supported. 2f. Some information was provided by the Applicant around the hybrid turf. The Panel stated there is an opportunity for the Applicant to further demonstrate and show proof the hybrid turf is a suitable product with relation to heat retention and toxicity. 2g. The Panel stated the addition of additional verge trees is positive however the tree species chosen is Paperbark which can be sparse. There is opportunity to plant large trees here which are deciduous with a <i>broader habit</i> which could provide shading to the large expanses of west facing glazing which will otherwise attract significant heat gain during summer afternoons.

Principle 3 Built form and scale		<i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i>
	N	3a. The scale of the building is acceptable. 3b. Locating the car park to the side of the building, rather than in front, is a positive aspect. However, at DRP 1 the Panel raised a question regarding the choice of a northern location rather than a southern one - to enable better northern aspect to play spaces both internally and externally. The Applicant has since indicated that they are unwilling to relocate the car park to the south of the site. 3c. At DRP1, the Panel suggested that if relocating the car park was not feasible, the Applicant should reconsider the design to improve access to northern light, enhancing both amenity and passive solar performance. This recommendation was reiterated at DRP2, with an additional request for evidence of how passive solar design is being managed, especially for east- and west-facing glazing. The Panel recommends preparing detailed sections to show solar ingress at different times of the year to inform further design revisions. 3d. Despite the above, the Panel recommended exploring any potential cost offsets with the City to facilitate relocating the car park to the south.
Principle 4 Functionality and build quality		<i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i>
	P	4a. In DRP1, comment was made there is room for improvement around the arrival experience. It was suggested the entry could be relocated closer to the front corner of the building which could create more generosity of space, better legibility, a more welcoming entry, whilst improving proximity to the community seating area. This comment was reiterated. 4b. The Panel noted that the entry portal feels constrained. While the tall planter bed adds a welcoming touch, it occupies valuable space and will reduce access to northern light. The Panel suggested that circulation in this area may not be fully functional and should be tested. One idea proposed was to remove the planter bed and replace it with mesh or wire, incorporating a deciduous creeper to create a visually engaging feature for the children, whilst allowing northern light in winter months. It was also recommended that the gate specified and detailed should be related to the front fencing design. 4c. The widening of the entry path is supported. 4d. The relocation of the staff and administration areas to the northwest side of the entry (with additional windows) was seen as an improvement, but does not optimize the northern orientation for most users. 4e. The Panel stated the extension of the art element is a positive outcome and supported. 4f. The Applicant stated in their presentation that the design is adaptable to other uses. The Panel commented the adaptability is still not evident and further clarification is requested to understand this better. 4g. Concerns were raised around the cost of the UV stabilized <i>Perspex</i> proposed for the fencing. The Panel queried what alternative solution will be considered if the cost is too high.
Principle 5 Sustainability		<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i>
	P	5a. The Panel thanked the Applicant for engaging a sustainability consultant. 5b. The Panel noted the successful opportunities in providing the centrally ventilated space for passive cooling. 5c. Comment was made by the Panel it is great to see a commitment to the installation of photovoltaic cells to the development however concern was raised around the 2 year delay before implementation.

		5d. It was noted there may be an error in the roof SRI level in the report and this should be checked and clarified. 5e. The Panel supported the introduction of openable windows between the activity spaces and the “piazza” space to optimize the stack effect. The Panel recommended that careful consideration be given to the differences between the stack effect and cross ventilation to get the most effective passive design outcome. 5f. It was stated by the Panel it would be beneficial to have a better understanding of the glazing facing east and west and how heat gain will be managed into the activity space and how an increase in energy requirements is being mitigated. The Panel recommends detailed sections showing solar ingress at various times of the year are prepared and used to revise the designs. 5g. It was suggested by the Panel it would be beneficial to increase (controlled) natural light from the entrance to the reception area. There may be opportunities to lift the roof and have higher ceilings to gain further penetration from the northern light.
Principle 6 Amenity		<i>Good design optimises internal and external amenity for occupants, visitors and neighbours providing environments that are comfortable, productive and healthy.</i>
	P	6a. The seating provided at the entry for clientele to stop and chat is welcoming and supported. 6b. It was noted by the Panel openable windows have been added to the cot room which is supported and the desired outcome. 6c. The space provided in the entry portal space is still seen as very tight and the Panel recommends more generosity of space be considered.
Principle 7 Legibility		<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i>
	P	7a. The Panel commented the landscaped screening to the carpark is successful and supported. 7b. In DRP1, comment was made there is room for improvement around the arrival experience. It was suggested the entry could be relocated closer to the front corner of the building which could create more generosity of space, better legibility, a more welcoming entry, whilst improving proximity to the community seating area. This comment was reiterated. 7c. The Panel questioned whether the entry is technically compliant and suggested checking the measurements. 7d. The Panel supports the additional screening provided to the carpark from the street.
Principle 8 Safety		<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
	S	8a. This design principle is now supported by the Panel.
Principle 9 Community		<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>
	S	9a. The Panel support a childcare centre in this location and are satisfied with the community benefit it will bring to the area. 9b. Comment was made the public art on the front wall near the seat is a positive outcome and supported.
Principle 10 Aesthetics		<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>

N	10a. Integrating the “actual signage” into the design approach is encouraged and the Panel appreciated this consideration. 10b. The screening of the air-conditioning units on the roof is a positive outcome. 10c. The current proposal in form is still reminiscent of a more suburban retail outlet and would benefit from consideration of its use in its design. 10d. The Panel maintains that there is an opportunity to revise the material selection to better reflect the local context. While the addition of brickwork is welcomed, it is recommended that the choice of brick and the overall design response be more thoughtfully considered to create a stronger connection with the surrounding area. 10e. Whilst the simplicity of form is acknowledged the building form should be enhanced to better represent the use and to better respond to the quality of the streetscape as mentioned in DRP 1. 10f. The Panel acknowledges improvement in the design of the front fence with the addition of brickwork but believes it requires further refinement to create a stronger streetscape interface. It is recommended that more articulation be explored through arrangement and detailing of materials. 10g. The use of lightweight materials requires good architectural detailing to optimize the aesthetic outcomes. It would be beneficial to have a better understanding and detailing around the robustness of the materials utilised in the design to ensure a good outcome. 10h. The Panel acknowledged that including shade sails in the plans is a positive step; however, they believe that shade sails may not be the most suitable option for this proposal. The Panel recommends considering alternative shading solutions that align more closely with the architectural form and design language, enhancing both functionality and visual cohesion. 10i. The location and detailing of downpipes and other detailed service elements should be considered with relation to aesthetic appeal.
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Design Review progress

Item 1 – DA24/1064 – 308 Main Street, Balcatta – Development Assessment Panel – Form 1 – Child Care Premise

DRP Meeting – Thursday 24 October 2024 and 29 August 2024

S	Design Principle satisfied		
P	Design Principle pending further attention		
N	Design Principle not satisfied		
	DR1 29/8/24	DR 2 24/10/24	
Principle 1 - Context and character	N	N	
Principle 2 - Landscape quality	P	P	
Principle 3 - Built form and scale	N	N	
Principle 4 - Functionality and build quality	P	P	
Principle 5 - Sustainability	N	P	
Principle 6 - Amenity	P	P	
Principle 7 - Legibility	P	P	
Principle 8 - Safety	P	S	
Principle 9 - Community	S	S	
Principle 10 - Aesthetics	N	N	

DR1 – DRP Recommendations DRP Meeting – 29/8/2024	DR2 – Applicant Response DRP Meeting – 29/8/2024	DR2 - DRP Recommendations DRP Meeting – 24/10/2024	DR2 – Applicant Response DRP Meeting – 24/10/2024
1a. Whilst the location of the proposal (and some technical contextual issues) was presented, the Panel noted that there was limited information provided about how the proposal enhances the distinctive characteristics of the local area or contributed to a sense of place. The Panel suggests that a more comprehensive analysis be undertaken to inform a revised design approach. This might include the local streetscape and examples of materials or design features that are intrinsic to this location. 1b. The current proposal in form is reminiscent of a more suburban retail outlet and would benefit from consideration of its use in its design. This can be challenging with Childcare as it is a commercial venture within a residential location. The Panel suggests the materiality and form of the building be reconsidered and the introduction of some more playful elements might assist. 1e. The Panel expressed concerns about the front fence and suggested that this could be improved to provide a better streetscape interface. Front fences play an important part in defining the context and character of the area. Some additional diversity in the fencing module should be considered.	1. Timber cladding to façade replaced with brickwork to provide a more appropriate response to the character of the locality. Two sections of face brickwork added to the front boundary fence to reflect the materiality of the area and 'break up' the monotony of the original fence treatment. Extent of public art increased to the side (north) elevation and southern-most section of front boundary wall, to emphasise the land use and create a more distinctive entry. Pedestrian entry path widened by 300mm to 1.8 metres.	1a. The proposal has not significantly developed in its response to Context and Character since DRP1. The Panel noted that there is still limited information provided about how the proposal enhances the distinctive characteristics of the local area or contributes to a sense of place. The Panel again suggests that a more comprehensive analysis be undertaken to inform a revised design approach. This might include the local streetscape and examples of materials or design features that are intrinsic to this location. 1b. The Panel noted a missed opportunity regarding the type of brick proposed and its connection to the surrounding context. The images depict salmon and red brick. The Applicant is encouraged to consider the entire streetscape to avoid introducing a brick type that feels out of place. 1c. The updated proposal is still reminiscent of a suburban retail outlet and would benefit from consideration of its use in its design. This can be challenging with Childcare as it is a commercial venture within a residential location. The Panel suggests the materiality and form of the building be reconsidered and the introduction of some more playful elements might assist. 1e. The Panel acknowledges improvement in the design of the	

1f.	A view showing the front entry path might help the design team see the opportunity for expanding the width of the pathway and the legibility of the entry.		front fence with the addition of brickwork but believes it requires further refinement to create a stronger streetscape interface. It is recommended that more articulation be explored through arrangement and detailing of materials.	
2c.	It was noted by the Panel there are no fall zones indicated on the plans. A request was made to have these calculations included on the drawings.	2. Fall zones shown on Landscape Plan (59m2)	2f. Some information was provided by the Applicant around the hybrid turf. The Panel stated there is an opportunity for the Applicant to further demonstrate and show proof the hybrid turf is a suitable product with relation to heat retention and toxicity.	
2d.	Comment was made by the Panel the verge tree planting is sparse considering the small size of this species of tree. The Applicant was encouraged to increase the number of trees planted in the verge area if they are limited on the height of the mature trees due to powerlines above.	3 verge trees added (total 24 new trees to be planted).		
2f.	It was suggested that a paving audit be conducted as there appears to be an excess of hard surface area. It was suggested there may be an opportunity to reduce the paving.	Species adjusted.		
2g.	Further information was requested on the existing trees, specifically the frangipani trees. There is a lack of clarity around removing these trees and it was suggested they could be transplanted.	External Play Area – Extent of Paving - Under verandah 160m² 24% - Not under verandah 110m² 16% TOTAL 270m ² 40%	2g. The Panel stated the addition of additional verge trees is positive however the tree species chosen is Paperbark which can be sparse. There is opportunity to plant large trees here which are deciduous with a broader habit which could provide shading to the large expanses of west facing glazing which will otherwise attract significant heat gain during summer afternoons.	
2h.	The Panel requested further clarification around the hybrid turf. There is opportunity for the Applicant to demonstrate the hybrid turf is a suitable product.	Frangipani trees can be transplanted elsewhere (off-site)		
2j.	It was suggested by the Panel there is an opportunity for smaller trees in the open space to better screen the carpark.	Details of hybrid turf provided Remaining areas of artificial turf replaced with timber decking. Shade sails slightly increased in size. Low wall to front of carpark.		

3b. The placement of the car park to the north of the site significantly reduces the opportunities for access to northern light for the building for passive solar design. The current proposal also introduces service areas and other functions to the north façade that do not require the benefit of northern light. Consideration should be made to relocate the carpark to the south of the building plus re-planning the building to face activity spaces north wherever possible, with connection to north facing outdoor areas. 3c. It is acknowledged that there are technical issues that create more difficulty in relocating the carpark to the south. It was suggested that due to the proposed road widening there may be opportunity for repositioning of the bus stop and drainage to more readily enable a crossover in that location. 3d. Should the relocation of the carpark not be possible, the Applicant should reconsider the design to demonstrate better access to northern light for better amenity and passive solar design.	3. The DRPs comments with respect to access to northern sunlight are noted. The Applicant has made enquiries with the Public Transport Authority and the City with respect to relocation of the bus stop and drainage infrastructure, respectively, to allow for the car park to be relocated to the southern side of the property. For various reasons, the Applicant is not prepared to relocate the car park as suggested. Relocating Activity Rooms 3 and 4 to the northern side of the building is also not possible due to the need for the building entry and administration areas to be located adjacent to the car park. In their current location, Activity Rooms 3 and 4 have access to afternoon and morning winter sunlight, respectively, while the External Play Area direction to the south of these rooms will also gain morning and afternoon sunlight. The External Play Areas to the west and east of the building will continue to receive direct northern sunlight. In addition, the highlight windows allow for daylight access to the central Piazza within the building.	3c. At DRP1, the Panel suggested that if relocating the car park was not feasible, the Applicant should reconsider the design to improve access to northern light, enhancing both amenity and passive solar performance. This recommendation was reiterated at DRP2, with an additional request for evidence of how passive solar design is being managed, especially for east- and west-facing glazing. The Panel recommends preparing detailed sections to show solar ingress at different times of the year to inform further design revisions. 3d. Despite the above, the Panel recommended exploring any potential cost offsets with the City to facilitate relocating the car park to the south.	
4b. The Panel commented that the centralised “piazza” circulation area works well from a ventilation and light access point of view. However, it seems to be its own separate activity space and included in the calculations for child activity spaces. The Panel questioned how this area will function if all activity spaces circulate kids through this space at the same time. Further clarification and an explanation on how this works would be beneficial. This	4. Operable windows provided to the internal walls between the Piazza and Activity Rooms 1, 2 and 5 to enhance cross-ventilation, noting Activity Rooms 3 and 4 are situated on the corners of the building and already achieve cross-ventilation. Service / administration areas along the northern side of the building reconfigured to enhance the arrival experience and improve surveillance of external areas.	4a. In DRP1, comment was made there is room for improvement around the arrival experience. It was suggested the entry could be relocated closer to the front corner of the building which could create more generosity of space, better legibility, a more welcoming entry, whilst improving proximity to the community seating area. This comment was reiterated. 4b. The Panel noted that the entry portal feels constrained. While the	

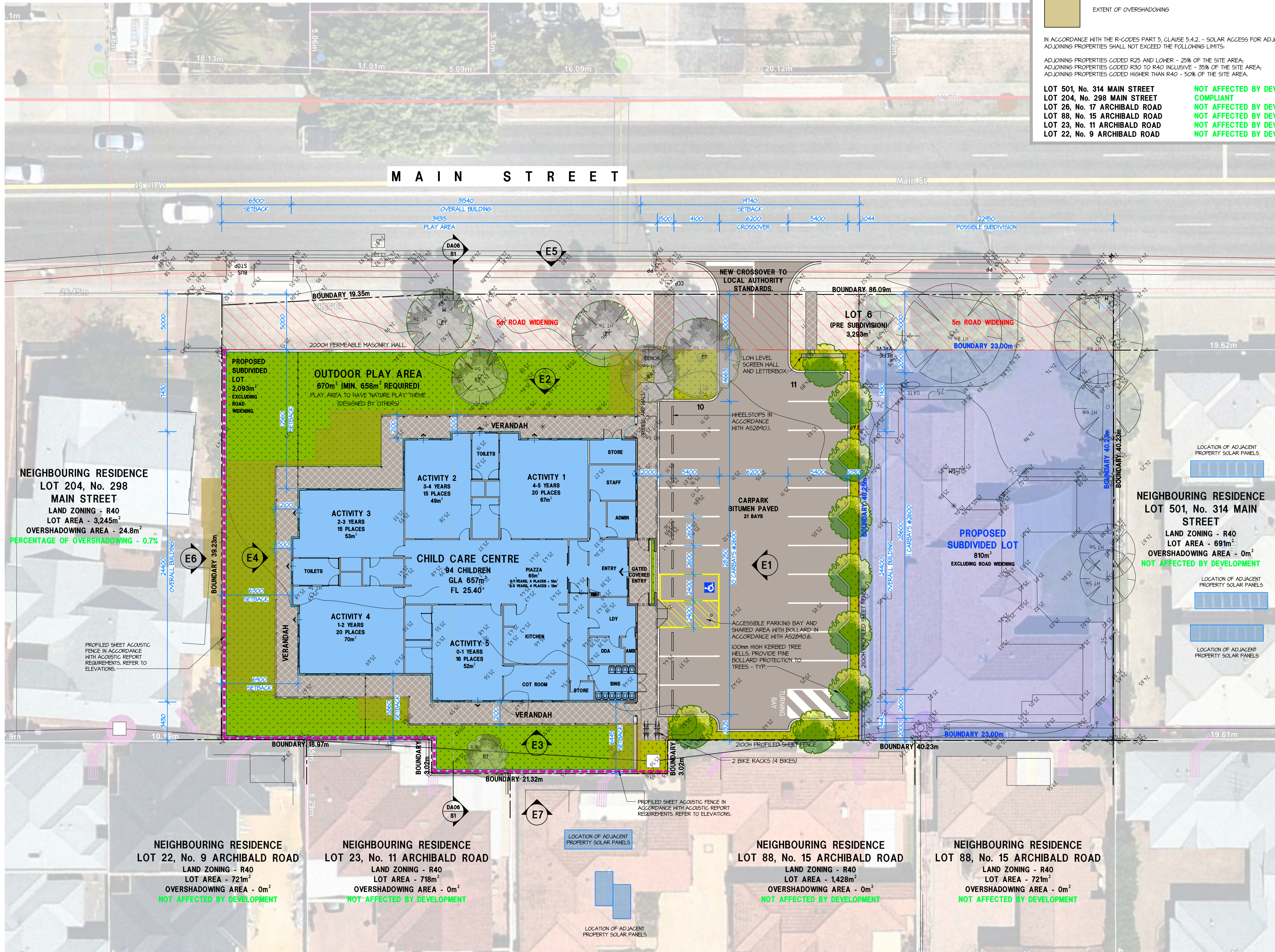
also applies to the kitchen access to the “piazza” space. Although this might work well, how will this be managed? 4c. The Panel support the operable highlight windows in the central space, however there is some concern about the effectiveness of the ventilation if there are no openings (fixed or operable) between the activity spaces and the “piazza” space to optimize the stack effect. 4d. Comment was made there is room for improvement around the arrival experience. It was suggested the entry could be relocated closer to the front corner of the building which could create more generosity of space (currently limited by the low safety fence), better legibility, a more welcoming entry, whilst improving proximity to the community seating area. 4e. The Panel expressed concern about the bin store being in such close proximity to the entrance. It was recommended the bin store should be repositioned to a more remote location away from the entrance due to possible odour issues and the visual aspect. 4f. The bin doors are not shown on the elevation drawings. The door handles popping out could be problematic if people are walking past. It was suggested there could be a slight recess to accommodate the bin store or recessed door handles to assist with this. 4g. The Applicant stated in their presentation the design is adaptable to other uses. The Panel commented the adaptability is not evident and further clarification is	Bin store relocated to the rear of the building. Staff Room repositioned near the front of the building. Additional windows added to the north facing façade. Pedestrian entry path widened by 300mm to 1.8 metres (2 metres including kerb). <u>Operation of Piazza</u> The central Piazza has been designed specifically for the operator of the premises. The operator has provided the following advice with respect to the Piazza. The Piazza or central hub is a space of the centre shared by children, parents and teachers. It’s also a place where children can intermingle to get together into larger groups. The space also serves as mealtimes and cooking programs. It allows fluidity to and from the piazza enabling children to make decisions on where and how they wish to play. This area also features as a display of children’s art work. This space is used by children at all times as specified above, either in large groups or smaller groups. (Phyllis Narula, Managing Director, Discovery at Play Early Learning Centres). <u>Adaptability of Design</u> The designer has advised that the “building could be re-purposed for a medical centre or Allied Health utilising the common waiting room and Activity Rooms as Consultant Rooms.”	tall planter bed adds a welcoming touch, it occupies valuable space and will reduce access to northern light. The Panel suggested that circulation in this area may not be fully functional and should be tested. One idea proposed was to remove the planter bed and replace it with mesh or wire, incorporating a deciduous creeper to create a visually engaging feature for the children, whilst allowing northern light in winter months. It was also recommended that the gate specified and detailed should be related to the front fencing design. 4f. The Applicant stated in their presentation that the design is adaptable to other uses. The Panel commented the adaptability is still not evident and further clarification is requested to understand this better. 4g. Concerns were raised around the cost of the UV stabilized Perspex proposed for the fencing. The Panel queried what alternative solution will be considered if the cost is too high.	
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requested to understand this better. 4i. Concerns were raised about the use of Perspex in the fencing to meet acoustic requirements. Perspex can degrade significantly over time and is generally not very UV stable. Alternative materials should be considered plus alternative approaches to managing this important interface should be considered.	<u>Front Boundary Fence</u> The DRP's comments about the use of 'perspex' to the front boundary fence are noted. The designer has advised that, due to the proximity to Main Street, the risk of damage is too great if glazing were to be installed. Instead, it is proposed to utilise "UV stable Perspex."		
5c. The Applicant was strongly encouraged by the Panel to explore sustainability initiatives and suggested engaging the services of a sustainability consultant. A commitment to sustainability initiatives is essential to enable a successful outcome and further clarity was requested.	5. Operable windows provided to the internal walls between the Piazza and Activity Rooms 3 and 4 are situated on the corners of the building and already achieve cross-ventilation.	5e. The Panel supported the introduction of openable windows between the activity spaces and the "piazza" space to optimize the stack effect. The Panel recommended that careful consideration be given to the differences between the stack effect and cross ventilation to get the most effective passive design outcome. 5f. It was stated by the Panel it would be beneficial to have a better understanding of the glazing facing east and west and how heat gain will be managed into the activity space and how an increase in energy requirements is being mitigated. The Panel recommends detailed sections showing solar ingress at various times of the year are prepared and used to revise the designs. 5g. It was suggested by the Panel it would be beneficial to increase (controlled) natural light from the entrance to the reception area. There may be opportunities to lift the roof and have higher ceilings to gain further penetration from the northern light.	

6a. The seating provided at the entry for clientele to stop and chat is welcoming, positive and good practice, however generosity in this area could be improved. 6b. It was noted by the Panel there are no windows indicated in the cot room on the drawings. The cot room should include an openable window to purge overnight and enable natural light penetration. 6c. The space defined by the safety fence and gates to the entry way could be more generous.	6, 7, 8 and 9 • Windows added to Cot Room • Planter box added to the gated covered entry • Width of pedestrian entry path increased by 300mm to 1.8 metres • Low-level wall with letter box has been added in front of the northern row of car bays • Wheel stops added to car bays to ensure pedestrian path is not blocked by any parked cars • The Applicant does not consider that a security gate is required, however, the design allows for a sliding gate to be installed at a later date if needed (subject to all necessary approvals).	6c. The space provided in the entry portal space is still seen as very tight and the Panel recommends more generosity of space be considered.	
7a. The Panel stated the legibility of the entry portico could be examined and improved. It was suggested the generosity of this area could be explored. 7b. The Applicant was encouraged to explore screening the carpark with landscape or a visually permeable element which would add to the pedestrian experience and reduce the visual dominance of car spaces.		7b. In DRP1, comment was made there is room for improvement around the arrival experience. It was suggested the entry could be relocated closer to the front corner of the building which could create more generosity of space, better legibility, a more welcoming entry, whilst improving proximity to the community seating area. This comment was reiterated. 7c. The Panel questioned whether the entry is technically compliant and suggested checking the measurements.	
8a. Comment was made the entry portal and pathway seems too narrow. The Applicant was urged to check the width to ensure people can pass if a pram is being pushed at the same time. 8c. The Applicant was encouraged to separate the pedestrian and vehicular paths.			
10a. The current proposal in form is reminiscent of a more suburban	10. Face Brickwork (restoration red) added in lieu of timber cladding	10c. The current proposal in form is still reminiscent of a more	

retail outlet and would benefit from consideration of its use in its design. 10b. As explained under Principle 1 commentary there is opportunity to revise the selection of materials to include those of a more contextual nature. One suggestion was to consider the use of brickwork (even as a feature element) which is contextual to the local area. Investigate the various colours in the area or a certain type of brick which has been used. 10c. Whilst the simplicity of form is acknowledged the building form should be enhanced to better represent the use and to better respond to the quality of the streetscape. 10d. The front fence should be further developed to create more interest and better integrate the landscaping. 10e. The use of lightweight materials requires good architectural detailing to optimize the aesthetic outcomes. It would be beneficial to have a better understanding and detailing around the robustness of the materials utilised in the design to ensure a good outcome. 10f. Any shade sails proposed should be shown on the drawings and renders as they impact considerably the aesthetic outcomes. 10g. The location and detailing of downpipes and other detailed service elements should be considered with relation to aesthetic appeal. 10h. A suggestion was made by the Panel there is opportunity to explore a more playful approach to	Public Art mural extent increased to the front and side walls. Face Brickwork (restoration red) added to front fence with a mixture of solid rendered panels and face brickwork Planter box added to the gated covered entry Shade sails are shown in the Landscape Plan and have been added to the renders.	suburban retail outlet and would benefit from consideration of its use in its design. 10d. The Panel maintains that there is an opportunity to revise the material selection to better reflect the local context. While the addition of brickwork is welcomed, it is recommended that the choice of brick and the overall design response be more thoughtfully considered to create a stronger connection with the surrounding area. 10e. Whilst the simplicity of form is acknowledged the building form should be enhanced to better represent the use and to better respond to the quality of the streetscape as mentioned in DRP 1. 10f. The Panel acknowledges improvement in the design of the front fence with the addition of brickwork but believes it requires further refinement to create a stronger streetscape interface. It is recommended that more articulation be explored through arrangement and detailing of materials. 10g. The use of lightweight materials requires good architectural detailing to optimize the aesthetic outcomes. It would be beneficial to have a better understanding and detailing around the robustness of the materials utilised in the design to ensure a good outcome. 10h. The Panel acknowledged that including shade sails in the plans is a positive step; however, they	
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the black safety fence at the entrance.		believe that shade sails may not be the most suitable option for this proposal. The Panel recommends considering alternative shading solutions that align more closely with the architectural form and design language, enhancing both functionality and visual cohesion. 10i. The location and detailing of downpipes and other detailed service elements should be considered with relation to aesthetic appeal.	
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OVERSHADOWING NOTES

OVERSHADOWING CALCULATION
OVERSHADOWING CALCULATIONS HAVE BEEN BASED OFF THE R-CODES EXPLANATORY GUIDELINES
CLAUSE 1.2 - SOLAR ACCESS FOR ADJOINING SITES.
PERTH - LATITUDE 32°S - VERTICAL SUN ANGLE 35°.

EXTENT OF OVERSHADOWING

IN ACCORDANCE WITH THE R-CODES PART 5, CLAUSE 5.4.2 - SOLAR ACCESS FOR ADJOINING SITES
ADJOINING PROPERTIES SHALL NOT EXCEED THE FOLLOWING LIMITS:

ADJOINING PROPERTIES CODED R25 AND LOWER - 25% OF THE SITE AREA;
ADJOINING PROPERTIES CODED R30 TO R40 INCLUSIVE - 35% OF THE SITE AREA;
ADJOINING PROPERTIES CODED HIGHER THAN R40 - 50% OF THE SITE AREA.

LOT 501, No. 314 MAIN STREET
LOT 204, No. 298 MAIN STREET
LOT 26, No. 17 ARCHIBALD ROAD
LOT 88, No. 15 ARCHIBALD ROAD
LOT 23, No. 11 ARCHIBALD ROAD
LOT 22, No. 9 ARCHIBALD ROAD

NOT AFFECTED BY DEVELOPMENT
COMPLIANT
NOT AFFECTED BY DEVELOPMENT
NOT AFFECTED BY DEVELOPMENT
NOT AFFECTED BY DEVELOPMENT
NOT AFFECTED BY DEVELOPMENT

CARPARKING

USE	VALUE	CALC	REQUIRED
-----	-------	------	----------

CHILD CARE
14 CHILDREN
1/5 PLACES
14

TOTAL PROVIDED
21

LEGEND:

- HARDSTAND PAVEMENT.
- PAVED FOOTPATHS.
- SELECTED LANDSCAPING: PLAY AREA TO BE DESIGNED BY OTHERS.
- NEW SELECTED SHADE TREE IN ACCORDANCE WITH LOCAL AUTHORITY GUIDELINES.
- EXISTING TREE RETAINED. REFER TO DEMO PLAN FOR EXTENT OF REMOVED TREES.
- EXTENT OF 200mm HIGH PROFILED SHEET ACOUSTIC WALL TO BE IN ACCORDANCE WITH ACOUSTIC REPORT REQUIREMENTS. REFER TO ELEVATIONS FOR MORE INFORMATION.

NOTES:

* FLOOR LEVEL AND STORM WATER IS INDICATIVE ONLY. FINAL DESIGN TO BE PREPARED BY A CIVIL ENGINEER AS PART OF BUILDING PERMIT APPLICATION.

* REFER TO SITE SURVEY PLAN FOR DETAILS ON ALL EXISTING INFRASTRUCTURE.



HINDLEY & ASSOCIATES
PTY LTD
BUILDING DESIGNERS

166 STIRLING HIGHWAY
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PO BOX 199
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FAX - 9386 6700
admin@hindley.com.au

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AS TRUSTEE FOR
HINDLEY TRUST
ACN No. 088 989 904

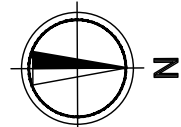


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B 08.08.24 REVISED FOR COMMENTS JJR CPH
C 28.09.24 ISSUED FOR DRP APPROVAL CPH CPH

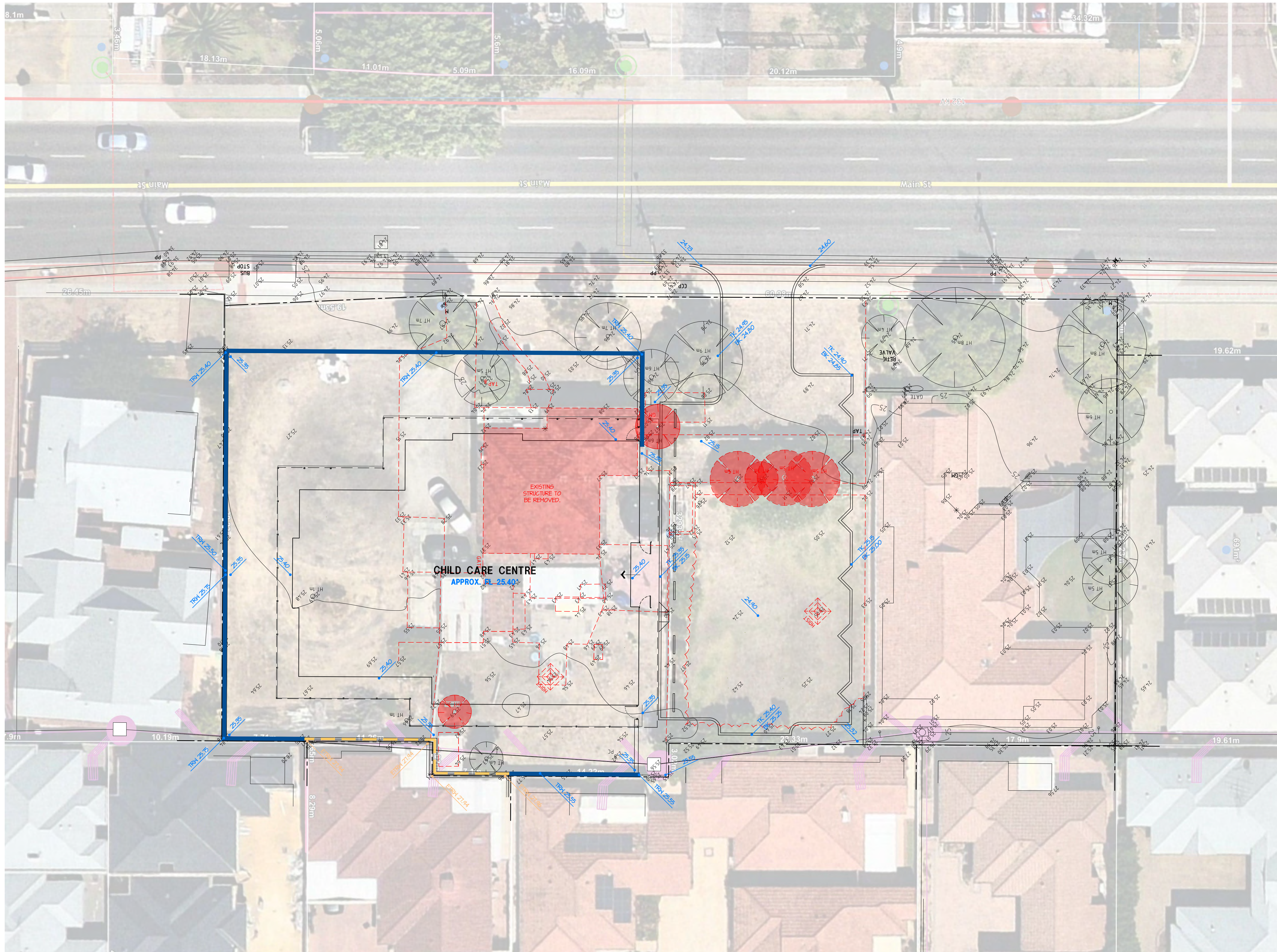
A1 SHEET

PROPOSED SITE PLAN
SCALE 1:200



PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATTA
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
Drawn - CPH
Checked - CPH
Scale - 1:200
Job No. 0873
Dwg - DA01
Rev - C



NOTES:

1. *DESIGN LEVELS ARE INDICATIVE ONLY. FINAL LEVELS AND TO BE DESIGNED BY A CIVIL ENGINEER AS PART OF THE BUILDING PERMIT APPLICATION.
2. SURVEY INFORMATION PROVIDED BY TUSCOM SUBDIVISION CONSULTANTS PTY LTD. REFER TO FEATURE SURVEY DATED 26/11/2021 FOR IDENTIFICATION OF FEATURES AND DETAILS OF DATUM.
3. SEWER LOCATION IS PLOTTED FROM WATER CORPORATION PLANS AND IS TO BE CONSIDERED APPROXIMATE ONLY. ACCURATE LOCATION OF SEWER TO BE VERIFIED PRIOR TO CONSTRUCTION.
4. SURFACE FEATURES AND LEVELS HAVE BEEN SURVEYED TO MEET THE REQUESTED SCOPE OF WORKS ACCURACY. THE SURFACE MAY BE CONTOURED TO DEPICT TOPOGRAPHY OR DEFINED ONLY BY SPOT HEIGHTS. FOR CLARITY ON HARD COPY SOME LEVEL INFORMATION IS NOT SHOWN. REFER TO 3D DIGITAL FILE. ABOVE GROUND INDICATORS (MARKERS) OF UNDERGROUND SERVICES ARE LOCATED WHERE VISIBLE. THIRD PARTIES UTILISING THIS INFORMATION SHOULD CONFIRM THE CAPTURE ACCURACIES MEET REQUIREMENTS PRIOR TO USE.
5. PRIOR TO ANY CONSTRUCTION EXCAVATION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES SHOULD BE CONTACTED TO CONFIRM LOCATION OF ALL UNDERGROUND AND NON-VISIBLE SERVICES. THE CONTRACTOR IS TO CARRY OUT A GROUND SCAN TO LOCATE ANY EXISTING SERVICES WITHIN THE SITE AND VERGE AREAS PRIOR TO WORKS.
6. THE DEPICTED PRECALCULATED BOUNDARIES SHALL BE TREATED AS PROPOSED ONLY AND MAY BE SUBJECT TO ALTERATIONS IN DIMENSIONS OR AREAS PRIOR TO DEPOSITED PLAN LODGEMENT AT LANDGATE. THE DEPICTED BOUNDARY LOCATIONS ARE A GRAPHICAL REPRESENTATION ONLY, THEREFORE THEIR POSITION IS NOT GUARANTEED BY MNG UNLESS STATED OTHERWISE. RE-ESTABLISHMENT OF LOT BOUNDARIES BY A LICENSED SURVEYOR IS RECOMMENDED FOR ANY WORKS ON OR ABOUT A BOUNDARY.
7. REFER TO CERTIFICATE OF TITLE FOR ENCUMBRANCES.

LEGEND:

- ITEMS TO BE REMOVED / RELOCATED SHOWN IN RED.
- PROPOSED DESIGN LEVEL
PREFIX
- TK - TOP OF KERB
- BK - BOTTOM OF KERB
- TRW - TOP OF RETAINING WALL
- BRW - BOTTOM OF RETAINING WALL
- ETRW - TOP OF EXISTING RETAINING WALL
ALL OTHER LEVELS ARE FROM SURFACE OF PAVEMENT.
- LOW LEVEL MASONRY RETAINING WALL
INCORPORATED INTO BOUNDARY FENCE. EXTENT AND TYPE TO BE CONFIRMED BY CIVIL ENGINEER DURING DETAILED DESIGN STAGE.
- EXISTING NEIGHBOURING RETAINING.



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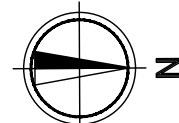
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ACN No. 088 989 904



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B	08.08.24	REVISED FOR COMMENT	JJR	CPH
C	28.09.24	ISSUED FOR DRP APPROVAL	CPH	CPH

A1 SHEET

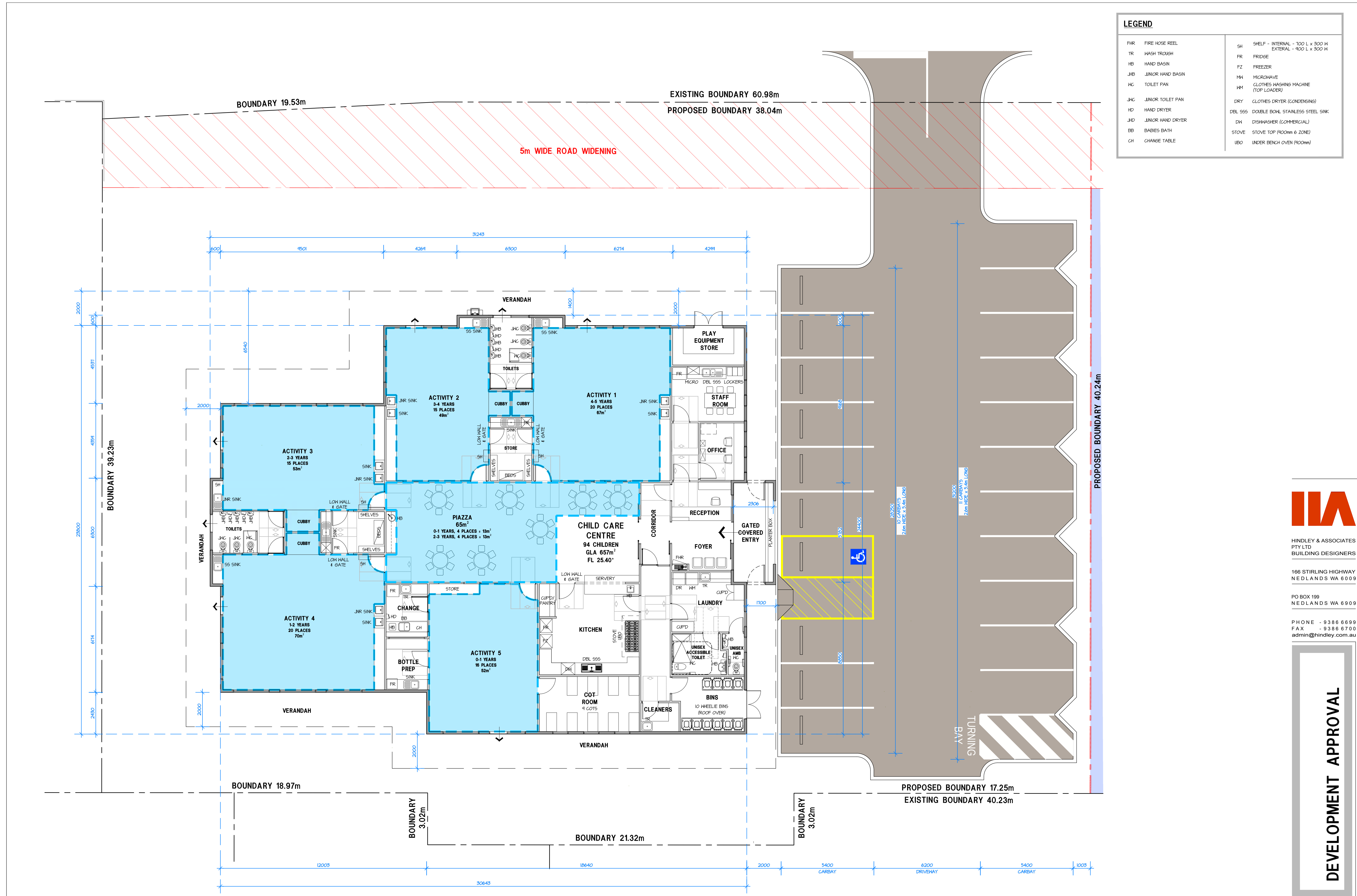
SURVEY OVERLAY/ LEVELS / DEMOLITION PLAN
SCALE 1:200



PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATTA
for PROJECT CONSTRUCTION Pty Ltd

Date	- 30.05.24
Design	- JJR
Drawn	- JJR
Checked	- CPH
Scale	- 1:200
Job No.	- 0873
Dwg.	- DA02
Rev	- C

LEGEND			
FHR	FIRE HOSE REEL	SH	SHELF - INTERNAL - 100 L x 300 H
TR	WASH TROUGH	FR	FRIDGE
HB	HAND BASIN	FZ	FREEZER
JHB	JUNIOR HAND BASIN	MW	MICROWAVE
WC	TOILET PAN	WM	CLOTHES WASHING MACHINE (TOP LOADER)
JWC	JUNIOR TOILET PAN	DRY	CLOTHES DRYER (CONDENSING)
HD	HAND DRYER	DBL SSS	DOUBLE BOWL STAINLESS STEEL SINK
JHD	JUNIOR HAND DRYER	DW	DISHWASHER (COMMERCIAL)
BB	BABIES BATH	STOVE	STOVE TOP (400mm 6 ZONE)
CH	CHANGE TABLE	UBO	UNDER BENCH OVEN (900mm)



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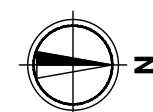
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PROPOSED FLOOR PLAN
SCALE 1:100



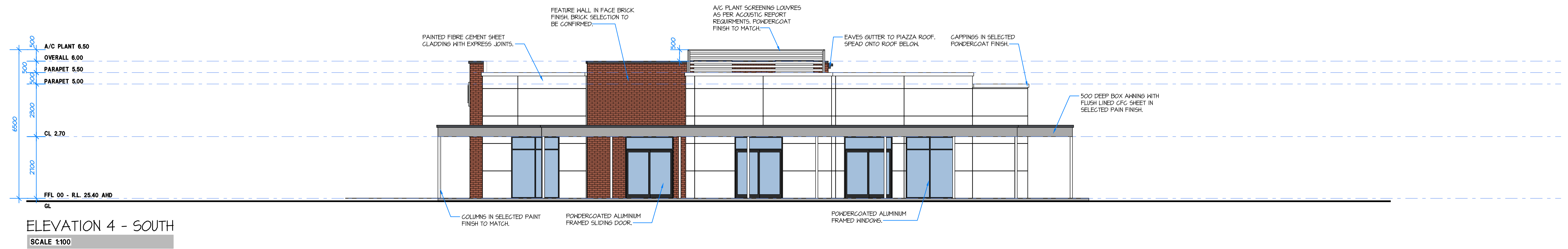
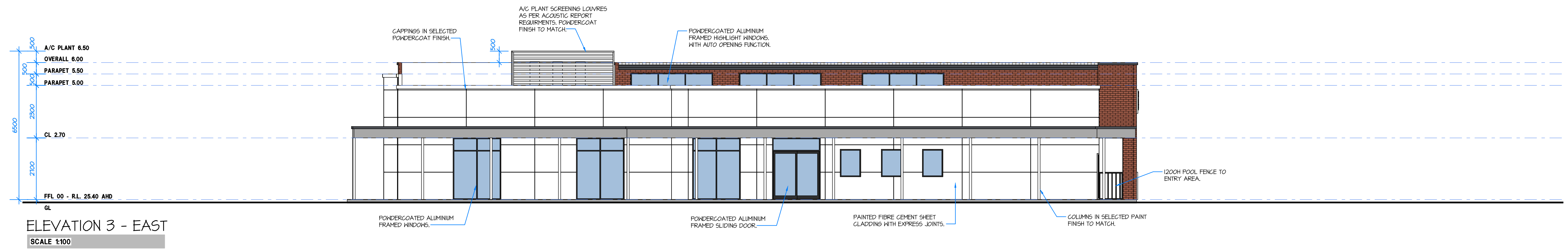
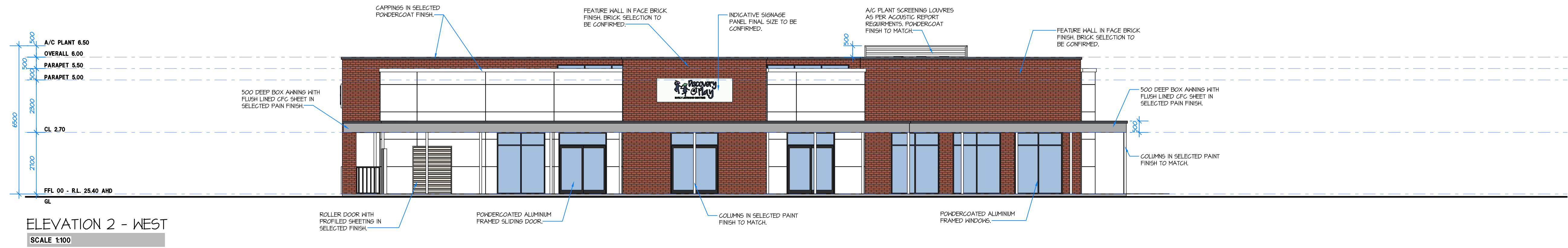
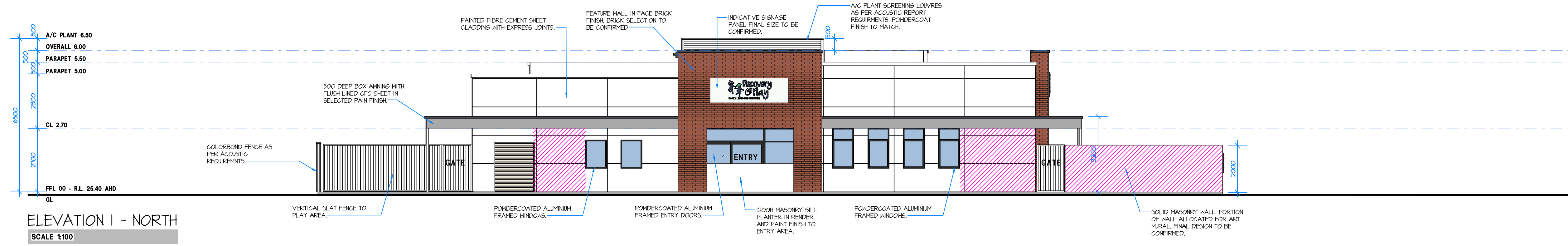
A1 SHEET

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATTA
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
Drawn - JJR
Checked - CPH
Scale - 1:200
Job No. 0873
Dwg - DA03
Rev - C

COLOUR SCHEDULE:

- SELECTED GLAZING.
- SELECTED FACE BRICK, RESTORATION RED/ OR SIMILAR.
- DILUX VIVID WHITE PAINT FINISH.
- COLORBOND SHALE GREY.
- COLORBOND BASALT.
- DURATEC BLACK POWDERCOAT TO FRAMES.
- EXTENT OF ART MURAL, FINAL ARTIST AND STYLE TO BE CONFIRMED.



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BUILDING DESIGNERS

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C	26.09.24	ISSUED FOR DRP APPROVAL	JJR	CPH

A1 SHEET

PROPOSED ELEVATIONS

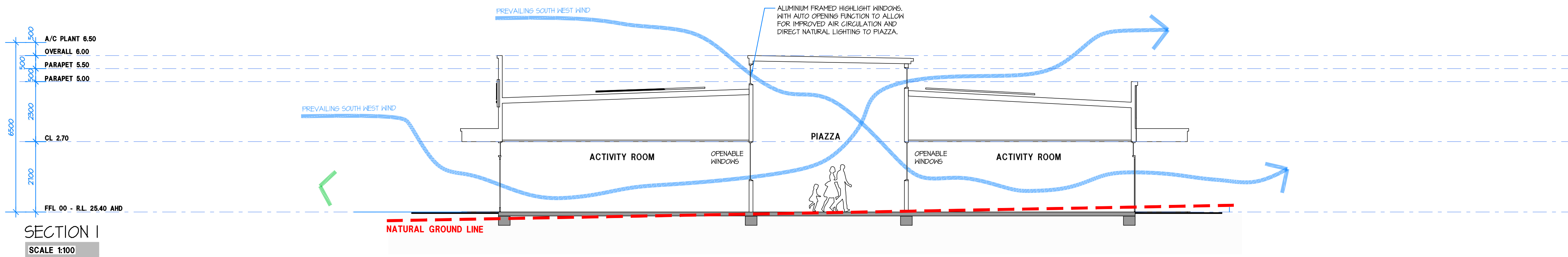
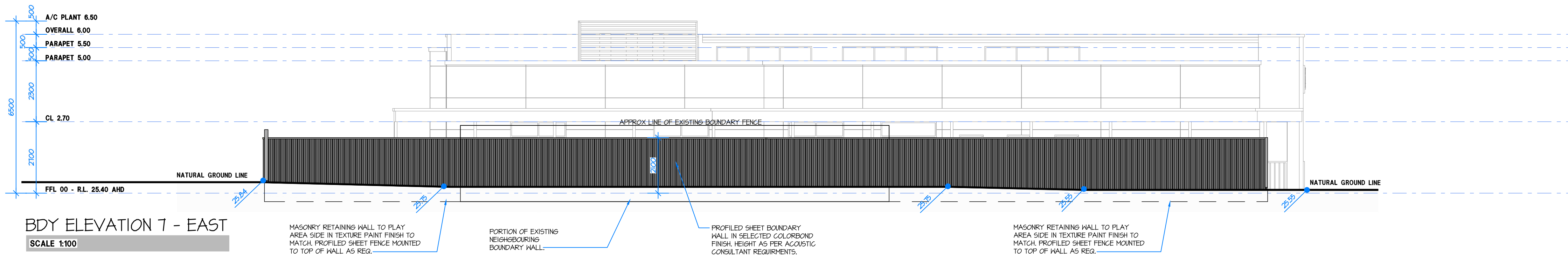
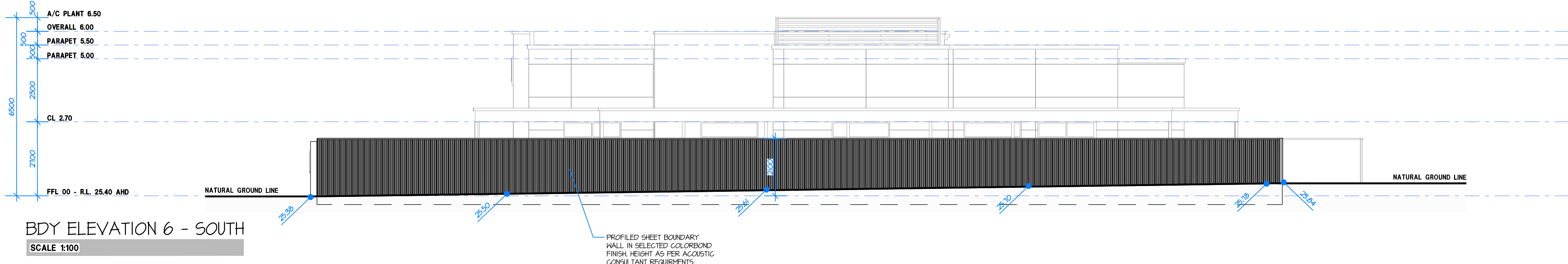
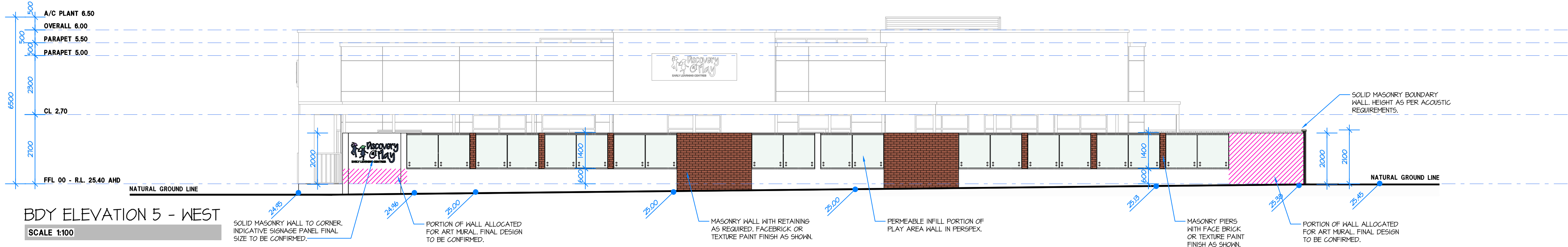
SCALE 1:100

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

Date	-	30.05.24
Design	-	JJR
Drawn	-	JJR
Checked	-	CPH
Scale	-	1:100
Job No.	-	0873
Dwg	-	DA04
Rev	-	C

COLOUR SCHEDULE:

- SELECTED GLAZING.
- SELECTED FACE BRICK, RESTORATION RED/ OR SIMILAR.
- DILUX VIVID WHITE PAINT FINISH.
- COLORBOND SHALE GREY.
- COLORBOND BASALT.
- DURATEC BLACK POWDERCOAT TO FRAMES.
- EXTENT OF ART MURAL, FINAL ARTIST AND STYLE TO BE CONFIRMED.



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A1 SHEET

PROPOSED BOUNDARY ELEVATIONS & SECTION
SCALE 1:100

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
Drawn - JJR
Checked - CPH
Scale - 1:100
Job No. 0873
Dwg - DA05
Rev - C



IMAGE 1
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 2
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 3
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 4
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 5
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 6
"PLAY AREA SHOWN INDICATIVELY ONLY"

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A1 SHEET

PERSPECTIVE VIEWS
NOT TO SCALE

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
Drawn - JJR
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Scale - 1:100
Job No. 0873
Dwg - DA06
Rev - B



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DEVELOPMENT APPROVAL



IMAGE 7
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 8
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 9
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 10
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 11
"PLAY AREA SHOWN INDICATIVELY ONLY"



IMAGE 12
"PLAY AREA SHOWN INDICATIVELY ONLY"

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A1 SHEET

PERSPECTIVE VIEWS
NOT TO SCALE

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
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Scale - 1:100
Job No. 0873
Dwg - DA07
Rev - B



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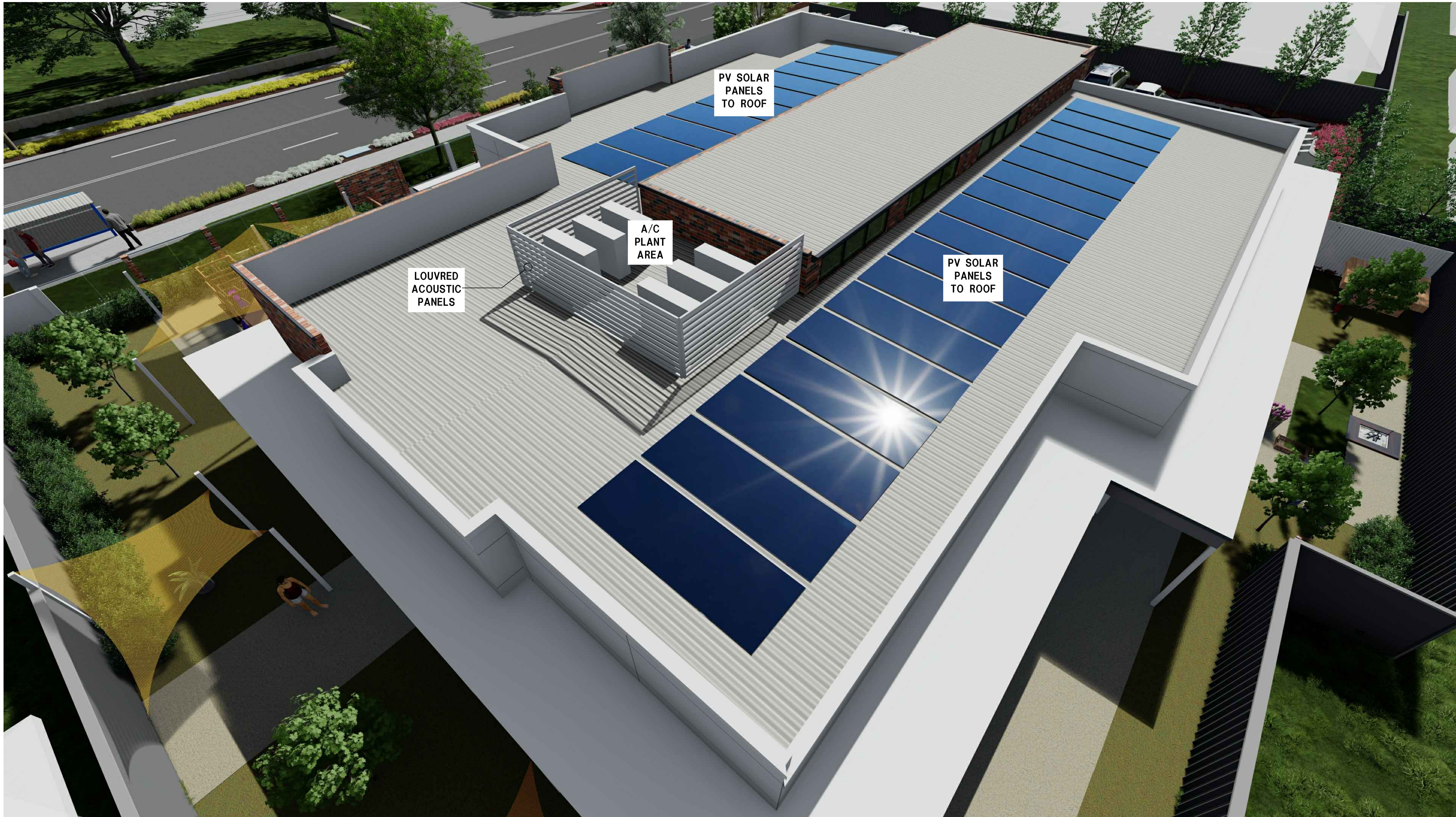


IMAGE 13
'PLAY AREA SHOWN INDICATIVELY ONLY'



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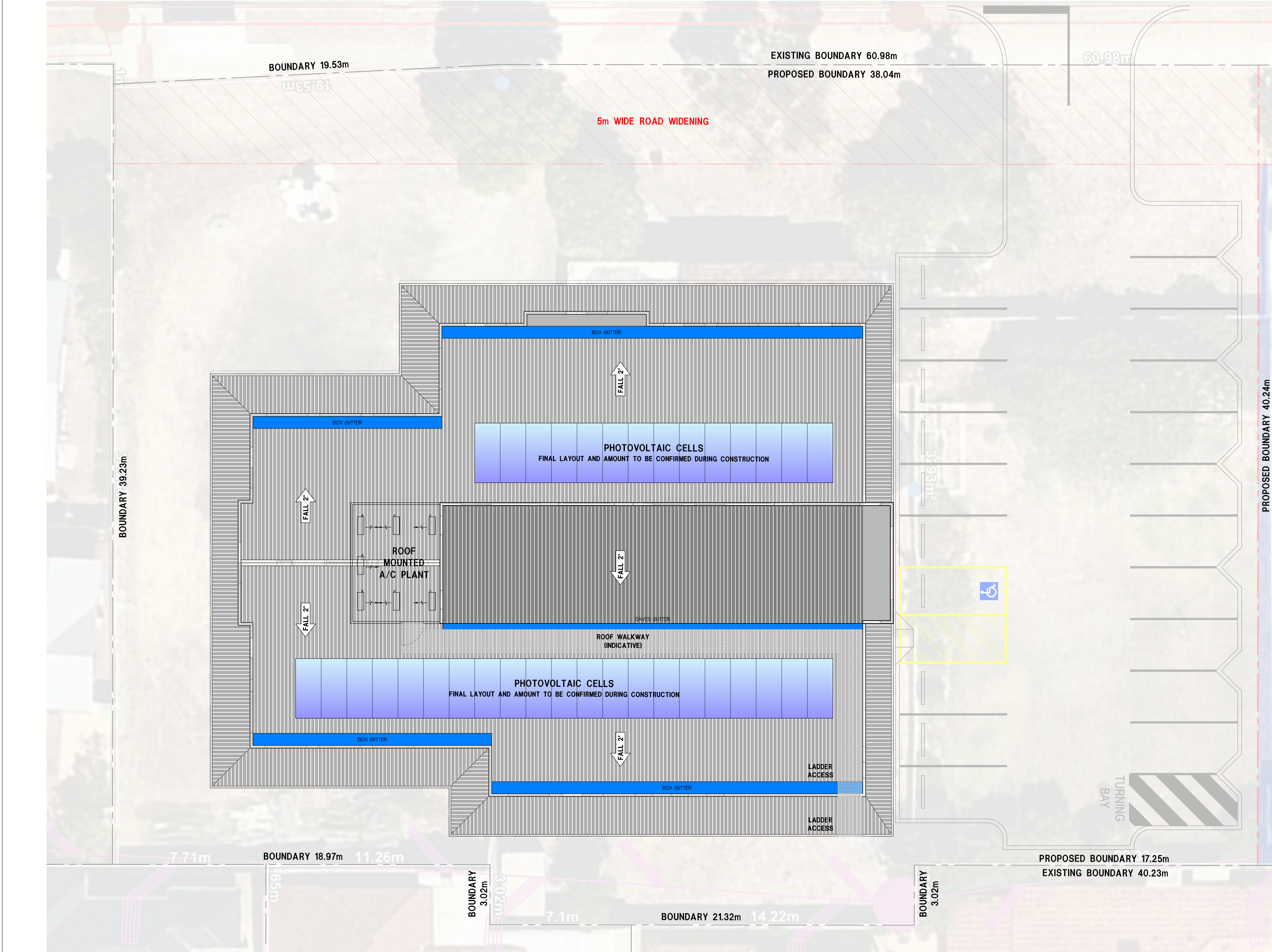
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A1 SHEET

PERSPECTIVE VIEWS
NOT TO SCALE

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

Date - 30.05.24
Design - JJR
Drawn - JJR
Checked - CPH
Scale - 1:100
Job No. 0873
Dwg - DA08
Rev - B



ROOFING LEGEND

- SELECTED ROOF SHEETING WITH A "SURFMIST" COLORBOND FINISH OR SIMILAR.
- 600mm WIDE x 200mm DEEP ZINCALUME BOX GUTTER SUPPORTED ON SPANDEK SHEETING WITH PSI GUTTER STRAPS AT 600mm CENTRES.
- SELECTED EAVES GUTTER WITH SELECTED COLORBOND FINISH.



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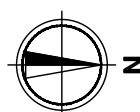
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PROPOSED ROOF PLAN

SCALE 1:100



A1 SHEET

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATTA
for PROJECT CONSTRUCTION Pty Ltd

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Job No. 0873
Dwg - DA09
Rev - B



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A1 SHEET

PROPOSED CHILDCARE CENTRE
LOT 6, No. 308 MAIN STREET
BALCATT
for PROJECT CONSTRUCTION Pty Ltd

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Dwg	-	DA10
Rev	-	B