

Design Review Report – Item 1

Local government:	City of Stirling	
Item no.:	Item 1 – DA21/1210 – 373 Wanneroo Road Balcatta – DAP – Form 1 – Childcare Premises	
Chairperson:	Emma Williamson	
Panel members:	Lisa Shine Tony Blackwell Michael Murphy Stephen Carrick	
Local government officers:	Giovanna Lumbaca Cameron Howell Simone Palmer	Coordinator Planning Senior Planning Officer (via Zoom) DRP Support Officer
Observers		
Date:	3 March 2022	Time: 2pm
Venue:	City of Stirling via Zoom	

Proponent/s		
	Alan Stewart Cate Baker	Stewart Urban Planning (<i>Applicant</i>) Stewart Urban Planning
	Owners	Skinner Property Holdings
Observer/s		

Briefings		
Development assessment overview	Cameron Howell	Senior Planning Officer
Technical issues	Cameron Howell	Senior Planning Officer
Design Review		
Proposed development	Item 1 – DA21/1210 – 373 Wanneroo Road Balcatta – DAP – Form 1 – Childcare Premises	
Property address	373 Wanneroo Road Balcatta	
Background		
Proposal		
Applicant or applicant's representative address to the design review panel	Alan Stewart	Stewart Urban Planning
Key issues / recommendations	There is considerable work to be undertaken to ensure that the design responds to both its context and use. The Panel urge the applicant to consider fully the opportunity of an integrated architecture and landscape response that provides	

	meaningful and functional spaces for children. The corner site is important in the development of the future character of the Town Centre and the development of the building elevations should take this into consideration. Refer to attached Design Quality Evaluation Report.
Chairperson signature	

Design quality evaluation Item 1 – DA21/1210 – 373 Wanneroo Road Balcatta – DAP – Form 1 – Childcare Premises DRP Meeting – Thursday 3 March 2022	
	<i>Design Principle satisfied</i>
	<i>Design Principle pending further attention</i>
	<i>Design Principle not satisfied</i>
Principle 1 Context and character	<i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>
	1a. The Panel commented they appreciate the effort to provide the existing context and character analysis and seek clarification in regard to the ways in which this relates to the design. 1b. The Panel requested further thought around the future context of the area. 1c. Comment was made by the Panel that the response to the corner site is of primary importance to the context.
Principle 2 Landscape quality	<i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i>
	2a. The Panel recommended engaging the services of a landscape architect to assist with improvements to the landscape quality. 2b. The Panel suggested making landscaping a priority, ensuring this is integrated in a landscape and architecture response, instead of landscape existing in largely left over space. 2c. The Panel questioned whether the 10% deep soil calculations include undercover areas and seek clarification of the calculations. 2d. There was comment made by the Panel there is a heavy reliance on shade sails on the upper deck and suggested that an integrated approach with the architecture could improve the design. 2e. The Panel advised they do not support the extensive use of astro turf due to the danger of burning this poses in hot weather and the lack of connection to nature for children. 2f. The Applicant was encouraged to provide further thought around the number of plant species as the number of varieties is very low. 2g. It was suggested by the Panel it would benefit the proposal to apply further thought and development around the hardscape.
Principle 3 Built form and scale	<i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i>
	3a. The Panel requested further clarification and information on the heights of the walls and fences. 3b. It was suggested by the Panel it would be beneficial to consider the corner composition as one elevation. This could be achieved by unwrapping the elevation on two sides to create one elevation for cohesive design. 3c. It was recommended the Applicant think about the building turning the corner and potential improvements that might be made by increasing the height of the corner element. 3d. The Panel questioned the development of the upper outdoor space that is largely enclosed and shares the language of the building rather than an outdoor space. 3e. The Panel noted that the upper elevations have not been provided so feedback on these aspects of the design could not be given.
Principle 4 Functionality and build quality	<i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i>

	4a. The Panel stated there are improvements to the entry sequence from the carpark. 4b. Concern was expressed by the Panel around the removal of the reception desk. It is not clear how the entry experience will function without a reception. 4c. The Panel recommended the reception desk and administration area should be visible from the staff areas. 4d. It was stated by the Panel the location of the air conditioning stores may block natural light into the activity room and requires further interrogation. 4e. It was mentioned by the Panel the addition of the outdoor room is beneficial although the amount of natural light could be problematic. This could be utilised as a multi-purpose space.
Principle 5 Sustainability	<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i>
	5a. The Panel stated the sustainability principle is underdeveloped and requires further thought. 5b. The Applicant was encouraged by the Panel to make a commitment to sustainability and provide further information in the way of a sustainability strategy. Solar HWS, photovoltaic cells and rainwater harvesting were some of the options suggested to improve sustainability. 5c. Comment was made by the Panel there is no solar shading on the upper floor. 5d. The Panel requested further information to permit a better understanding in relation to natural ventilation. 5e. The Panel showed concern around the amount of natural light penetration on the ground floor.
Principle 6 Amenity	<i>Good design optimises internal and external amenity for occupants, visitors and neighbours providing environments that are comfortable, productive and healthy.</i>
	6a. The Panel stated there is extremely poor amenity for the children in relation to the landscaping of this proposal. 6b. The Panel commented the lack of connection between the two building masses on the upper level will present challenges to staff, children and parents in inclement weather.
Principle 7 Legibility	<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around</i>
	7a. The Panel stated the legibility of the entry is an improvement on the previous design. 7b. It was suggested by the Panel there is opportunity to further improve the materiality of the entry zone to continue to develop the legibility of this element. 7c. It was recommended by the Panel to consider the link between the branding and materiality and question the overlap of signage on the timber feature element. 7d. The Panel suggested further integrating the branding and signage into the design.
Principle 8 Safety	<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
	8a. It was mentioned by the Panel there could be a possible trip hazard if the creepers are planted too close to the fence and the tendrils grow out onto the path. 8b. It was stated by the Panel the Astro turf is a safety issue in relation to the danger of burning in hot weather.

Principle 9 Community	<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>
	9a. The Panel commented it is disappointing the two existing trees on the side have not been maintained.
Principle 10 Aesthetics	<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>
	10a. The Panel commented the red brick feels like it is a remnant of the previous design and recommended revisiting the material palette to ensure a cohesive and curated selection. 10b. The Panel commented on the current composition of the building, noting that there are several competing elements. Development of this should seek to create a hierarchy, ensuring that the corner is anchored, and the elevation is seen as a whole. 10c. The Panel sought clarification in relation to the coloured squares on the building, suggesting that if these are not part of the branding they might be reconsidered. 10d. Comment was made by the Panel that the building does not yet communicate its use as a childcare centre. This should be addressed through consideration of the composition as well as the tactility of the materials used. 10e. The Panel commented on the importance of considering the underside of the slab and ensuring a design response responds to this.

Design Review progress Item 1 – DA21/1210 – 373 Wanneroo Road Balcatta – DAP – Form 1 – Childcare Premises DRP Meeting – Thursday 3 March 2022			
	<i>Design Principle satisfied</i>		
	<i>Design Principle pending further attention</i>		
	<i>Design Principle not satisfied</i>		
	DR1 5/8/2022	DR2 3/3/2022	DR3
Principle 1 - Context and character			
Principle 2 - Landscape quality			
Principle 3 - Built form and scale			
Principle 4 - Functionality and build quality			
Principle 5 - Sustainability			
Principle 6 - Amenity			
Principle 7 - Legibility			
Principle 8 - Safety			
Principle 9 - Community			
Principle 10 - Aesthetics			

Recommendations Summary Item 2 – DA21/1210 – 373 Wanneroo Road Balcatta			
DR1 – DRP Recommendations DRP Meeting – 5/8/2021	DR1 – Applicant Response DRP Meeting – 5/8/2021	DR2 DRP Recommendations DRP Meeting – 3/3/2022	DR2 – Applicant Response DRP Meeting – 3/3/2022
1b. Comment was made by the Panel that observing the future intended character of the local area is important. 1c. Comment was made when developing the design, the materiality should be considered and in addition what the context can contribute to the project. 1d. The Panel stated there is insufficient analysis on the context and requests further analysis at the next meeting. 1e. The Panel suggested looking more closely at the context of the surrounding streets and incorporating this into the design. 1f. The Panel noted the building location is close to the nil-boundary setback stipulated in the Activity Centre planning scheme, but considers the building form needs to be much more cohesive.	1. • Painted rendered masonry walls. • Pitched tile roof • Pitched aluminium roof • Feature brick • Gable roof	1a. The Panel commented they appreciate the effort to provide the existing context and character analysis and seek clarification in regard to the ways in which this relates to the design. 1b. The Panel requested further thought around the future context of the area.	
2a. The Panel stated the landscaping does not respond to the building design circulation layout. 2b. There is opportunity to increase deep soil planting and add a large tree by moving the fire escape stairs		2a. The Panel recommended engaging the services of a landscape architect to assist with improvements to the landscape quality. 2b. The Panel suggested making landscaping a priority, ensuring this is integrated in a landscape	

to another location on the other side. 2c. Comment was made by the Panel the landscaping feels underwhelming and there is opportunity for improvement and to create a buffer to Wanneroo Road. 2d. The Panel noted more planting could be incorporated into the parking area.		and architecture response, instead of landscape existing in largely left over space. 2c. The Panel questioned whether the 10% deep soil calculations include undercover areas and seek clarification of the calculations. 2d. There was comment made by the Panel there is a heavy reliance on shade sails on the upper deck and suggested that an integrated approach with the architecture could improve the design. 2f. The Applicant was encouraged to provide further thought around the number of plant species as the number of varieties is very low. 2g. It was suggested by the Panel it would benefit the proposal to apply further thought and development around the hardscape.	
3b. The Panel stated the built form requires further thought and consideration. 3c. The Panel commented the planning is compromised and there are too many elements. 3d. The Panel suggested further thought be given to balancing pedestrian movement space between the inside and outside. 3e. Concern was expressed by the Panel around the variety of shapes and forms which		3a. The Panel requested further clarification and information on the heights of the walls and fences. 3b. It was suggested by the Panel it would be beneficial to consider the corner composition as one elevation. This could be achieved by unwrapping the elevation on two sides to create one elevation for cohesive design. 3c. It was recommended the Applicant think about the building turning the corner and	

creates an overly busy plan and building form.		potential improvements that might be made by increasing the height of the corner element.	
4a. The Panel stated the tightness and congestion at the entry zone is problematic. 4b. Suggestion was made by the Panel that reorientation of the stairs could allow a more generous space around the entry point and foyer. 4c. There was comment made the north facing activity rooms are unshaded and may require protection. 4d. The Panel commented the openness of the carpark on the street is functional but there may be opportunity to gate or screen some of the carpark. 4e. Comment was made by the Panel there is opportunity to strategize around concealing the services that will be below the first floor play deck. 4f. The Panel noted the shape of the ground floor play area makes supervision difficult.	4a. Enlarged entry portico 4b. Stairs reorientated 4c. Enlarged entry portico 4d. Revised carpark design 4e. Services relocated 4f. Ground floor external play area revised.	4c. The Panel recommended the reception desk and administration area should be visible from the staff areas. 4d. It was stated by the Panel the location of the air conditioning stores may block natural light into the activity room and requires further interrogation.	
5a. The Panel noted this principle has not been adequately addressed and there is opportunity for further thought and development. 5b. Comment was made the north facing windows are	5. Revised first floor activity rooms.	5a. The Panel stated the sustainability principle is underdeveloped and requires further thought. 5b. The Applicant was encouraged by the Panel to make a commitment to sustainability and provide further information	

fixed and not appropriate for cross ventilation. 5c. The Panel encouraged the Applicant to make a commitment to sustainability. 5d. The Panel suggested incorporating recycled asphalt which would reduce the environmental impact and improve sustainability. 5e. It was suggested by the Panel to give further thought and consideration to the west facing unprotected glazing.		in the way of a sustainability strategy. Solar HWS, photovoltaic cells and rainwater harvesting were some of the options suggested to improve sustainability. 5d. The Panel requested further information to permit a better understanding in relation to natural ventilation.	
6c. The circulation is very tight and there is opportunity for further thought and development. 6d. The Panel believes there is opportunity to improve the quality of the play area equipment. 6e. Comment was made by the Panel the synthetic turf applied to the play areas would require shading.	6d. Revised play equipment. 6e. Shade sails to first floor external play area.		
7b. The Panel stated the signage is not evident and requires further development. 7c. The Panel commented the hierarchy of the buildings is hard to read and requires further thought and development.		7b. It was suggested by the Panel there is opportunity to further improve the materiality of the entry zone to continue to develop the legibility of this element. 7c. It was recommended by the Panel to consider the link between the branding and materiality and question the overlap of signage on the timber feature element. 7d. The Panel suggested further	

		integrating the branding and signage into the design.	
8a. There was comment made by the Panel the glass fence adjacent to the trafficable entry is potentially dangerous. 8b. The Panel commented there is a pinch point for pedestrians at the vehicle entry.	8a. Revised entry design.		
10a. The Panel commented the form and aesthetics of the building is lacking cohesion. 10b. The Panel requested more information on what would be visible from the street above and below the play deck at the car park entry. 10c. The Panel believes the escape stair facing Wanneroo Road detracts from the street elevation.	10. Revised design	10a. The Panel commented the red brick feels like it is a remnant of the previous design and recommended revisiting the material palette to ensure a cohesive and curated selection. 10b. The Panel commented on the current composition of the building, noting that there are several competing elements. Development of this should seek to create a hierarchy, ensuring that the corner is anchored, and the elevation is seen as a whole. 10c. The Panel sought clarification in relation to the coloured squares on the building, suggesting that if these are not part of the branding they might be reconsidered. 10d. Comment was made by the Panel that the building does not yet communicate it's use as a childcare centre. This should be addressed through consideration of the composition as well as the	

		10e. tactility of the materials used. The Panel commented on the importance of considering the underside of the slab and ensuring a design response responds to this.	
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Skinner Property Holdings Pty Ltd ATF Otranto Trust

Address:373 Wanneroo Road, Balcatta

Childcare Centre

Job Number: 21056

Drawing No	Description
PD01	Cover Sheet
PD02	3D
PD03	Site Plans
PD04	Context Plan
PD05	Ground Floor Plan
PD06	First Floor Plan
PD07	GF Site Overlay
PD08	FF Site Overlay
PD09	Elevations
PD10	Elevations
PD11	Existing Tiny Beez Centres



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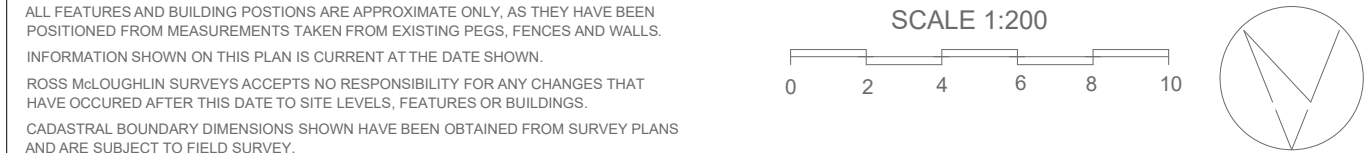
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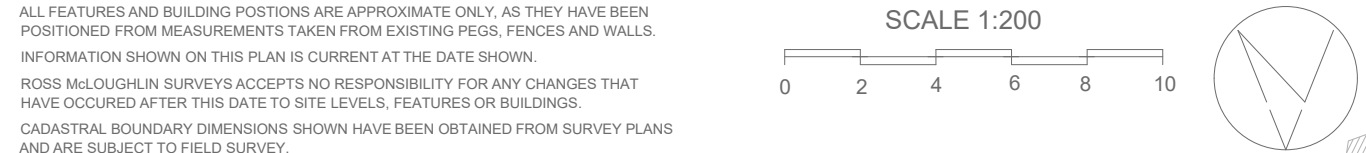
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LOT 3 (No.373) WANNEROO ROAD - BALCATT				LOT 3 (No.373) WANNEROO ROAD - BALCATT				LOT 3 (No.373) WANNEROO ROAD - BALCATT			
SITE PLAN				SITE PLAN				SITE PLAN			
SCALE: 1:200 @ A2 SIZE		LOCAL AUTHORITY: CITY OF STIRLING		SCALE: 1:200 @ A2 SIZE		LOCAL AUTHORITY: CITY OF STIRLING		SCALE: 1:200 @ A2 SIZE		LOCAL AUTHORITY: CITY OF STIRLING	
DATE: 5.5.2021		PLAN: LOT 3 ON PLAN 5332		DATE: 5.5.2021		PLAN: LOT 3 ON PLAN 5332		DATE: 5.5.2021		PLAN: LOT 3 ON PLAN 5332	
DATUM: AHD		AREA: 1022m ²		SDR FILE: WN3		SURVEYOR: RAM		SDR FILE: WN3		SURVEYOR: RAM	
						DRAWN: RAM				DRAWN: RAM	
										SDR FILE: WN3	

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Existing Site Survey
1:200

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Site Plan
1:200

Ground Floor	
Childcare Centre	197.96
Bin Store	17.51
Store	13.60
Ac Store	6.85
235.92 m ²	
First Floor	
Childcare Centre	373.19
373.19 m ²	

Client Skinner Property Holdings Pty Ltd ATF Otranto Trust Project Name Childcare Centre Project Address 373 Wanneroo Road, Balcatta		Drawing Title: Site Plans Scale: as noted Sheet Size: A2 Project No: 21056 Drawing No.: PD03 of 07		Issue: Re Design Rev: Description: Drawn: 007 Design CD Revision Number: Date: 007 16/02/2022		 ©COPYRIGHT This plan shall remain the sole property of MACRI BUILDERS and must not be given, lent, resold or otherwise disposed or copied without permission in writing of the company.	
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Child / Room Calculations

Room	Age (Yrs)	Quant.	Size
Activity 1	0-2	12	37.11m ²
Activity 2	2-3	15	43.67m ²
Activity 3	3-5	20	56.64m ²
Activity 4	3-5	20	72.58m ²
Arts & Crafts			19.24m ²
Nutrition			18.55m ²
Total Internal = (Min 3.25m ² per child)		67	247.79m ² (217.75m ² Req)
Total External Play Area = (Min 7m ² per child)		67	475.21m ² (469m ² Req)
Staff Calculations Required		10	

Ground Floor

Childcare Centre	197.96
Bin Store	17.51
Store	13.60
Ac Store	6.85
235.92 m ²	

First Floor

Childcare Centre	373.19
373.19 m ²	



Ground Floor Plan
1:100

Client
Skinner Property Holdings Pty Ltd ATF Otranto Trust
Project Name
Childcare Centre
Project Address
373 Wanneroo Road, Balcatta

Drawing Title:
Ground Floor Plan

Scale: as noted

Project No:

21056

Sheet Size: A2

Drawing No.:

PD05 of 07

Issue:
Re Design

Rev: Description:

007

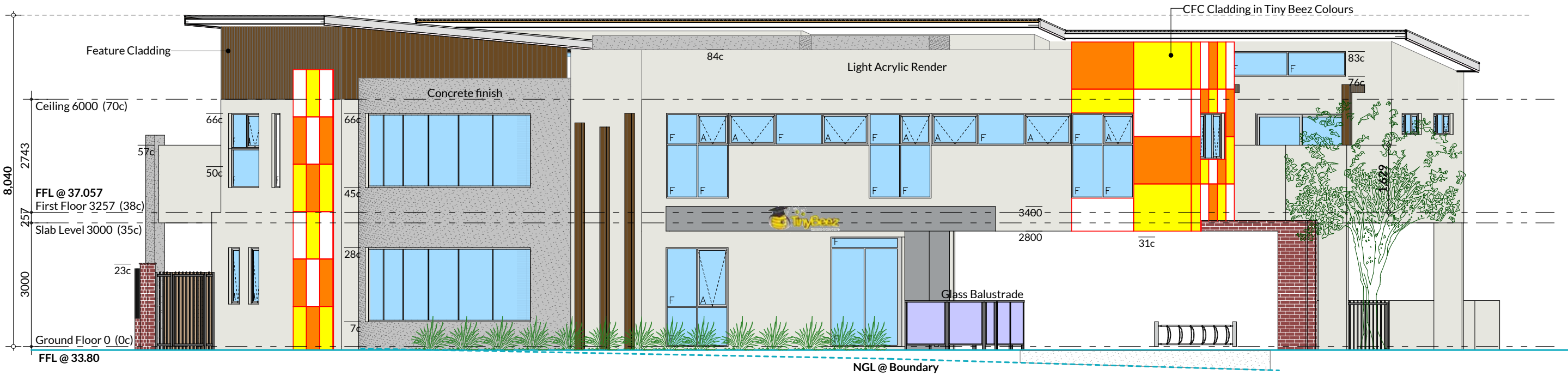
Revision Number:

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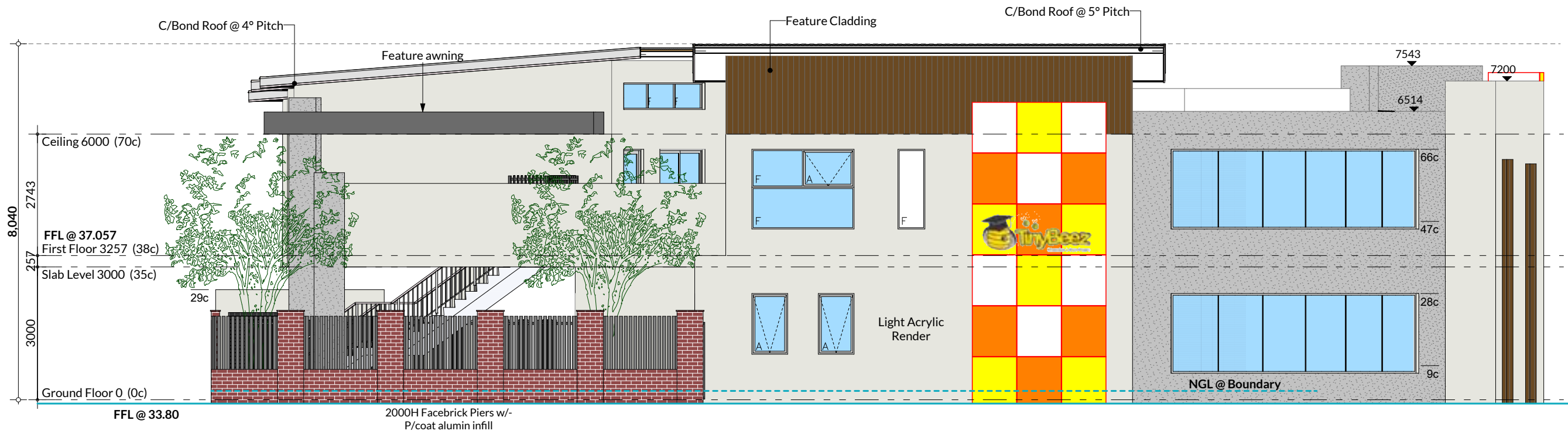
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1 North Elevation
1:100



2 East Elevation
1:100

Material / Colour Finishes Schedule

Location	Description	Example
Roof	Colorbond Sheetting "Surfmist"	
Window & Door Frames	Silver Lustre	
P/Coated Tubular Fencing	Colorbond "Silver Lustre"	
External Timber Cladding	Mortlock Timber Trendplank	
External Render	White Acrylic Render Dulux "Snowy Mountains"	
	Dark Acrylic Render Dulux "Endless Dusk"	
Feature Concrete	Dulux Acrasheild Concrete "Ash Rock"	
Awnings	Compressed Fibrous Cement. Dulux "Endless Dusk"	
Facebrick	Vintage Red Tumbled with White Mortar	

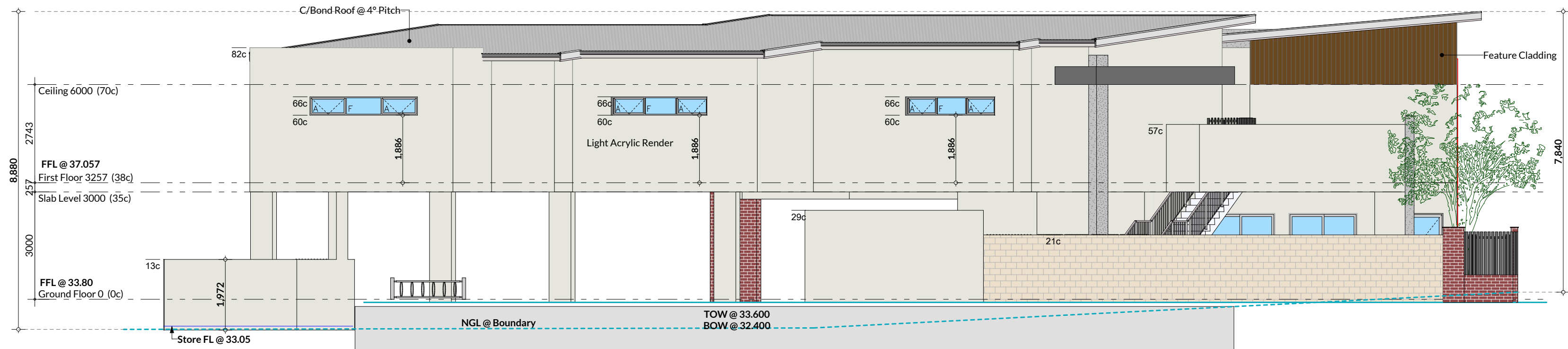
Client
Skinner Property Holdings Pty Ltd ATF Otranto Trust
Project Name
Childcare Centre
Project Address
373 Wanneroo Road, Balcatta

Drawing Title:
Elevations
Scale: as noted
Project No:
21056

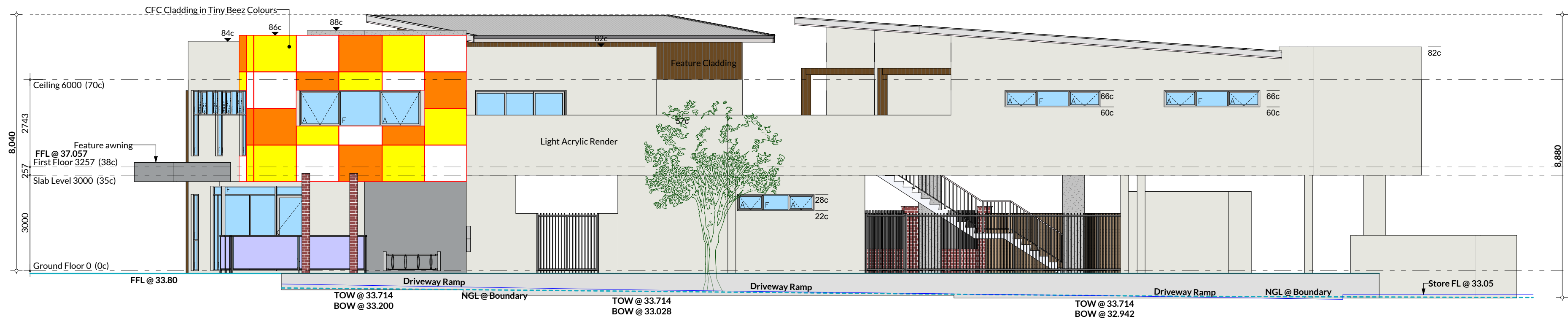
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Drawing No.:
PD09 of 07

Issue:
Re Design
Rev: 007
Description: Design
Revision Number: 007
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3 South Elevation
1:100



4 West Elevation
1:100

Client
Skinner Property Holdings Pty Ltd ATF Otranto
Trust
Project Name
Childcare Centre
Project Address
373 Wanneroo Road, Balcatta

Drawing Title:
Elevations

Scale: as noted

Project No:

21056

Sheet Size: A2

Drawing No.:

PD10 of 07

Issue:
Re Design

Rev: Description:

007 Design

Revision Number:

007

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e-mail: admin@childscapes.com.au
web: childscapes.com.au

PROJECT
TINY BEEZ BALCATTA
Ground floor

CLIENT
-

DRAWING
OVERALL CONCEPT PLAN

DRAWING NO
L-01

SCALE
1:100

SHEET
A1

REVISION
6

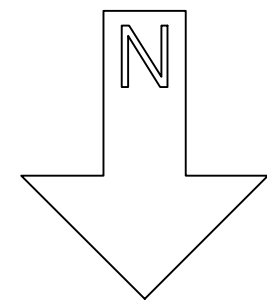
ISSUE
DEVELOPMENT APPROVAL

DRAWN
NK

DATE
21/02/22

REVISIONS

No	DATE	DRAWN	DETAILS
1	14/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
2	16/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
3	18/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
4	16/02/22	NK	CONCEPT- ISSUED FOR FEEDBACK
5	17/02/22	NK	CONCEPT- ISSUED FOR FEEDBACK
6	21/02/22	NK	CONCEPT- ISSUED FOR FEEDBACK



OUTDOOR
CLASSROOM
BLACKBOARD



PLANTER BOX

TREES IN POT

MONKEY BARS

BIKE PATH

LARGE LOG

FORT WITH SLIDE
AND NET

DECK BOARD

SAND KITCHEN

GARDEN

HERB
GARDENS IN
PLANTER BOXES

PICNIC

BENCHES



FORT WITH SLIDE



MONKEY BARS



PLANTER BOX



SAND KITCHEN



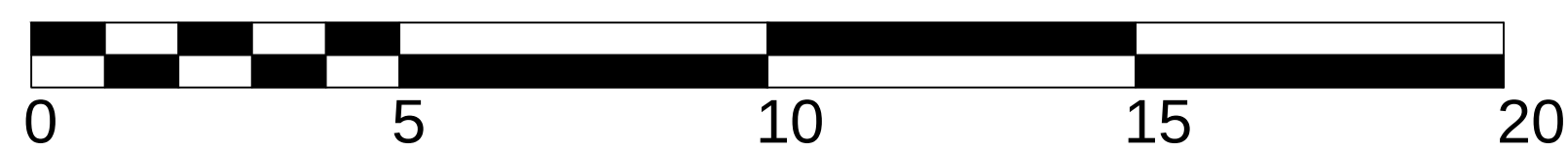
NET



LARGE LOG



OUTDOOR CLASSROOM



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PROJECT
TINY BEEZ BALCATT
First floor

CLIENT
-

DRAWING
OVERALL CONCEPT PLAN

DRAWING NO
L-02

SCALE
1:100

SHEET
A1

REVISION
5

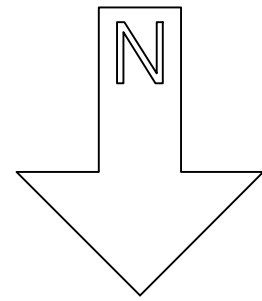
ISSUE
DEVELOPMENT APPROVAL

DRAWN
NK

DATE
21/02/22

REVISIONS

No	DATE	DRAWN	DETAILS
0	24/06/21	NK	CONCEPT- ISSUED FOR FEEDBACK
1	14/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
2	16/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
3	18/07/21	NK	CONCEPT- ISSUED FOR FEEDBACK
4	16/02/22	NK	CONCEPT- ISSUED FOR FEEDBACK
5	21/02/22	NK	CONCEPT- ISSUED FOR FEEDBACK



PLANT SCHEDULE				
	SPECIES	SPACINGS	SIZE	QTS
TREES				
Cfi*	CORYMBIA FICIFOLIA	AS SHOWN	100LT	9
Hti*	HIBISCUS TILIACEUS	AS SHOWN	100LT	3
SHRUBS				
Hsc*	HIBBERTIA SCANDENS	1000MM	5LT	45
Cvi*	CALLUSTEMON VIMINALIS 'Little Jonh'	1000MM	5LT	19
Cse	CHAMAEDOREA SEIFRIZII	600MM	5LT	46

* existing plants

TREES:



CORYMBIA FICIFOLIA



HIBISCUS TILIACEUS

SHRUBS:

CHAMAEDOREA
SEIFRIZII



CALLISTEMON
VIMINALIS 'LITTLE JON'



HIBERTIA SCANDENS



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PROJECT
TINY BEEZ BALCATT
Ground floor

CLIENT
-

DRAWING
PLANTING PLAN

DRAWING NO
L-03

SCALE
1:100

SHEET
A1

REVISION
5

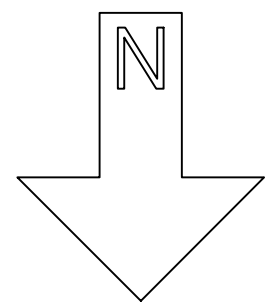
ISSUE
DEVELOPMENT APPROVAL

DRAWN
NK

DATE
17/02/22

REVISIONS

No	DATE	DRAWN	DETAILS
0	24/06/21	NK	PLANTING- ISSUED FOR FEEDBACK
1	14/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
2	16/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
3	18/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
4	16/02/22	NK	PLANTING- ISSUED FOR FEEDBACK
5	17/02/22	NK	PLANTING- ISSUED FOR FEEDBACK



PLANT SCHEDULE				
	SPECIES	SPACINGS	SIZE	QTS
TREES				
Ltr	LEMON TREE	AS SHOWN	100LT	2
Cbo	CORYMBIA BABY ORANGE	AS SHOWN	100LT	2
Apa	ACER PALMATUM	AS SHOWN	100LT	2
SHRUBS				
Hsc	HIBERTIA SCANDENS	1000MM	5LT	16
Cvi	CALLUSTEMON VIMINALIS 'Little Jonh'	1000MM	5LT	16

TREES:



ACER PALMATUM



LEMON TREE



CORYMBIA
BABY ORANGE

SHRUBS:



CALLISTEMON
VIMINALIS 'LITTLE JON'



HIBERTIA SCANDENS



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PROJECT
TINY BEEZ BALCATTA
First floor

CLIENT
-

DRAWING
PLANTING PLAN

DRAWING NO
L-04

SCALE
1:75

SHEET
A1

REVISION
5

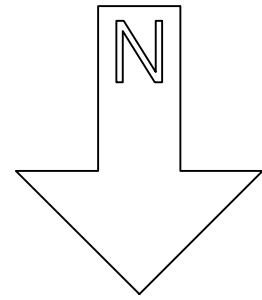
ISSUE
DEVELOPMENT APPROVAL

DRAWN
NK

DATE
21/02/22

REVISIONS

No	DATE	DRAWN	DETAILS
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1	14/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
2	16/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
3	18/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
4	16/02/22	NK	PLANTING- ISSUED FOR FEEDBACK
5	21/02/22	NK	PLANTING- ISSUED FOR FEEDBACK



Calculation of the areas

Total area **1022m²**

Garden area $7,66\text{m}^2 + 30,15\text{m}^2 + 11,26\text{m}^2 + 50,66 = \square\square\square\square\text{m}^2$

The garden area is taking $\square\square\square\square$ of the entire surface.



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PROJECT
TINY BEEZ BALCATT
Ground floor

CLIENT
-

DRAWING
CALCULATION OF THE AREAS

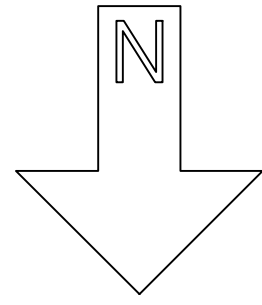
DRAWING NO	SCALE	SHEET	REVISION
L-05	1:100	A1	7

ISSUE
DEVELOPMENT APPROVAL

DRAWN	DATE
NK	21/02/22

REVISIONS

No	DATE	DRAWN	DETAILS
2	16/07/21	NK	CALCULATION- ISSUED FOR FEEDBACK
3	17/07/21	NK	CALCULATION- ISSUED FOR FEEDBACK
4	18/07/21	NK	CALCULATION- ISSUED FOR FEEDBACK
5	16/02/22	NK	CALCULATION- ISSUED FOR FEEDBACK
6	17/02/22	NK	CALCULATION- ISSUED FOR FEEDBACK
7	21/02/22	NK	CALCULATION- ISSUED FOR FEEDBACK



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PROJECT
TINY BEEZ BALCATTAs
Ground floor

CLIENT
-

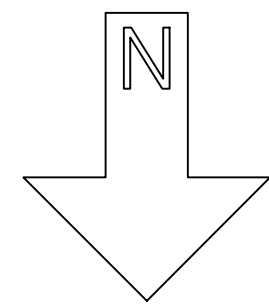
DRAWING
PLANTING PLAN-
FOR REMOVING
TREES

DRAWING NO	SCALE	SHEET	REVISION
L-06	1:100	A1	6

ISSUE
DEVELOPMENT APPROVAL

DRAWN	DATE
NK	21/02/22

REVISIONS			
No	DATE	DRAWN	DETAILS
1	14/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
2	16/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
3	18/07/21	NK	PLANTING- ISSUED FOR FEEDBACK
4	16/02/22	NK	PLANTING- ISSUED FOR FEEDBACK
5	17/02/22	NK	PLANTING- ISSUED FOR FEEDBACK
6	21/02/22	NK	PLANTING- ISSUED FOR FEEDBACK



OUTDOOR
CLASSROOM
BLACKBOARD



SHADE SAIL

	P.O. Box 774 e-mail: admin@childscapes.com.au web: childscapes.com.au	PROJECT		DRAWING				ISSUE			REVISIONS			
		TINY BEEZ BALCATTA First floor		SHADE PLAN				DEVELOPMENT APPROVAL			No	DATE	DRAWN	DETAILS
		CLIENT -	DRAWING NO L-07	SCALE 1:75	SHEET A1	REVISION 4	DRAWN NK	DATE 21/02/22			0	14/07/21	NK	SHADE PLAN- ISSUED FOR FEEDBACK
											1	16/07/21	NK	SHADE PLAN- ISSUED FOR FEEDBACK
											2	18/07/21	NK	SHADE PLAN- ISSUED FOR FEEDBACK
											3	16/02/22	NK	SHADE PLAN- ISSUED FOR FEEDBACK
											4	21/02/22	NK	SHADE PLAN- ISSUED FOR FEEDBACK