

Design Review Report – Item 1

Local

government: City of Stirling

Item no.: Item 1 – DA25/1289 – 680 Wanneroo Road, Balga – Development Assessment Panel – Form 1 – 22 Multiple Dwellings and One Consultancy Room

Acting
Chairperson: Brett Wood-Gush

Panel members: Tony Blackwell Landscape Architecture (remotely)
Jackson Liew Architecture

Local government officers: Shaun Wheatland Coordinator Planning
Ryan Munyard Coordinator Planning
Stefan Tizzzone Acting Senior Planning Officer
Simone Palmer DRP Support Officer

Observers Tony Pankiw Member Art Committee

Date: 6 November 2025 Time: 2pm

Venue: City of Stirling – Challenger Room

Proponent/s

Justin Hansen	URPS (<i>Applicant</i>)
Kerry Kyriakakis	Kyria Design
Adrian Abel	Abel Property – Landowners Representative
Owners	Doublecrest Holdings Pty Ltd

Observer/s

Briefings

Development assessment overview	Stefan Tizzzone	Acting Senior Planning Officer
Technical issues	Stefan Tizzzone	Acting Senior Planning Officer

Design Review

Proposed development	Item 1 – DA25/1289 – 680 Wanneroo Road, Balga – Development Assessment Panel – Form 1 – 22 Multiple Dwellings and One Consultancy Room	
Property address	680 Wanneroo Road, Balga	
Background		
Proposal		
Applicant or applicant's representative address to the design review panel	Justin Hansen Kerry Kyriakakis	URPS Kyria Design
Key issues / recommendations	- The frontage to Wanneroo Road and Fieldgate Square requires strengthening, with improved visual and physical connections to the street and POS. - The stepped-down from the street weakens the built edge. Where possible, reconsideration was made to achieve a stronger urban	

	frontage. • Boundary treatments, including noise and retaining walls, should be softened through articulation, openings, and planting. • The proposal should better demonstrate how it responds to its local context, scale, and character. • Landscaping lacks integration; more large trees, species diversity, and shaded communal areas are encouraged. • The bin store, car park, and rear path configurations should be reviewed to improve functionality and enable additional planting. • Parking, courtyard and entry areas need refinement to enhance legibility, pedestrian arrival, and a sense of welcome. • Air-conditioning units, horizontal louvres, and storage layouts require detailed resolution to minimise visual impact and safety concerns. • The ESD strategy should set clear sustainability targets, including PV systems, EV readiness, and cross-ventilation optimisation. • Separation from neighbouring properties needs further consideration to reduce overlooking and provide room for landscape. • The design of communal spaces requires greater detail, including seating, shading, lighting, and accessibility. • Breezeways courtyard should be widened and finished to function as comfortable outdoor areas with appropriate materials and detailing. • The material and finishes palette should relate more clearly to the local context and include public art to enrich the streetscape. • Opportunities should be taken to interpret and celebrate the site's heritage, including creative retention or re-imagining of graffiti elements. Refer to attached Design Quality Evaluation Report.
Acting Chairperson's signature	 Brett Wood-Gush – Acting Chair

Design quality evaluation
Item 1 – DA25/1289 – 680 Wanneroo Road, Balga – Development Assessment Panel – Form 1 – 22
Multiple Dwellings and One Consultancy Room
DRP Meeting – Thursday 6 November 2025

	S	<i>Design Principle satisfied</i>
	P	<i>Design Principle pending further attention</i>
	N	<i>Design Principle not satisfied</i>
Principle 1 Context and character		<i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>
	P	1a. Comment was made by the Panel the proposal is appropriate to the Neighbourhood Centre and Main Road context. 1b. The Panel stated the overall composition is well proportioned and simply expressed; the collection of smaller components works effectively. 1c. The proposal improves on the current derelict site and contributes positively to the adjoining Public Open Space. 1d. The Panel suggested further demonstration of how the proposal responds to its surrounding context would be beneficial. 1e. Comment was made the stepped-down from the street is unfortunate, as it weakens the frontage to Wanneroo Road. 1f. The Panel stated creating a strong visual and physical connection to the street and POS is important. 1g. The presentation of the front wall should avoid a harsh or defensive appearance; an open or articulated approach is preferred. 1h. The Panel stated it is important to ensure a continuous and well-defined frontage to Fieldgate Square. 1i. Comment was made by the Panel the noise walls should be softened with articulation, openings, and planting. 1j. It was recommended by the Panel to retain the street-facing storey to discourage graffiti and maintain activation. 1k. The Panel suggested a detailed streetscape study should be provided to assist with telling what the true context is.
Principle 2 Landscape quality		<i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i>
	P	2a. The Panel commended the Applicant on the engagement of a Landscape Architect. 2b. Comment was made the tree table is sound, however, additional large trees are encouraged. 2c. The Panel stated there appears to be some lost opportunity in relation to landscape engagement with the street. 2d. The communal areas and circulation spaces should better promote passive activity and shaded incidental use, which are currently limited. 2e. The Panel encouraged the Applicant to reduce areas of solid paving wherever possible. 2f. The Applicant was urged to discuss with the City opportunities for verge planting and additional POS planting to soften the site edges. 2g. It was recommended by the Panel the Applicant should review paving treatments to the car park and change areas for consistency and permeability. 2h. It was suggested the Applicant should consider relocating the bin store to enable a large tree at the junction of the two buildings. 2i. Comment was made by the Panel where planting space is constrained climbing plants or vines should be considered. 2j. The Panel suggested reviewing the species list to include more shade-tolerant species.

		2k. It was stated by the Panel although large trees are included in the development, species diversity and extent should be increased to improve canopy cover. 2l. It was suggested by the Panel to explore opportunities to introduce more sunlight into the sunken courtyard areas. 2m. Comment was made by the Panel landscape plays an important role. The landscaping needs to be maintained properly and there is opportunity to create good courtyards and make these flourish.
Principle 3 Built form and scale		<i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i>
	P	3a. The diversity of form is supported; the modest scale and varied articulation of heights suit the site and are not intrusive. 3b. It was suggested renders would assist in demonstrating the three-dimensional articulation, as current illustrations suggest a flatter form than intended. 3c. The career accommodation is well considered, providing independence; however, the career units appear constrained. 3d. The Panel commented the upper-level balconies provide valuable streetscape activation and are supportive of these. 3e. It was suggested by the Panel the Applicant could consider opening up the northern courtyard; the lift structures appear somewhat intrusive. 3f. The Applicant was urged by the Panel to avoid blank walls where possible and soften necessary solid walls with openings or planting. 3g. The arrival experiences at both Fieldgate Square and the car park end require improvement to enhance pedestrian appeal.
Principle 4 Functionality and build quality		<i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i>
	P	4a. The retention and refurbishment of existing structures are supported by the Panel. 4b. The Panel strongly support the use of shared external parking over individual garages. 4c. Comment was made by the Panel the servicing arrangements should be reviewed to ensure long-term operational efficiency, including waste collection. 4d. The Panel stated passive climatic design is being considered however there appears to be opportunities for further enhancement. 4e. The Panel stated it is essential to provide detail around the air-conditioning unit locations to avoid heat discharge or visual clutter in public areas. 4f. Comment was made by the Panel the universal accessible toilet doors to the community space are not ideal and screening is required. 4g. It was stated by the Panel the residential windows next to the community space may present noise and privacy issues. 4h. The Panel expressed concern around the horizontal louvres which may create climbing risks and should be reviewed for safety reasons. 4i. Comment was made by the Panel the L-shaped stores are inefficient for access and should be reconsidered. 4j. The breezeways are a strong design feature but require greater width to function as usable outdoor courtyards. The Panel requested the Applicant provide detail on the finish and dimension. 4k. It was recommended the Applicant should reconsider the rear boundary pathway; while it offers connectivity, it limits private garden opportunities for ground-floor units.
Principle 5 Sustainability		<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i>
	P	5a. It was noted by the Panel the retention and reuse of the existing building offers a strong sustainability precedent. 5b. The emphasis on cross-ventilation is commended. The Applicant was

		encouraged to ensure window and door openings are operable to maximise natural airflow. 5c. The Panel stated an ESD Strategy should identify measurable targets and commitments for PV systems, EV infrastructure, and energy-efficient fixtures. 5d. The Panel suggested the Applicant consider introducing north-facing skylights to upper apartments to enhance daylight access.
Principle 6 Amenity		<i>Good design optimises internal and external amenity for occupants, visitors and neighbours providing environments that are comfortable, productive and healthy.</i>
	P	6a. The Applicant was commended on the provision of multiple communal open spaces within the project. 6b. The Panel commented providing detailed designs for the communal spaces, including seating, lighting, and landscape features is essential. 6c. It was mentioned the balcony proximity to neighbouring properties raises privacy concerns; shifting the building westward and improving screening would be beneficial to the outcome. 6d. The Panel requested further information on shading, canopy coverage, and landscaping treatments. 6e. Comment was made by the Panel the Applicant should ensure the key access ramps meet accessibility and gradient standards. It was suggested the Applicant should work with the City to enhance the outcome. 6f. The Panel strongly urged the Applicant to work with the City on upgrades to the verge and POS amenity.
Principle 7 Legibility		<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i>
	P	7a. The Panel stated legible access from Fieldgate Square requires resolution and improvement. 7b. It was noted the gate from the POS is an essential entry. The Applicant was encouraged to strengthen its sense of arrival and ensure an accessible call system to contact the caretaker.
Principle 8 Safety		<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
	P	8a. Comment was made by the Panel site access is well considered and logically arranged. 8b. It was noted the current layout provides good passive surveillance to both streets and internal spaces. 8c. The Panel stated the high boundary walls to Dan Murphy's and the POS are not supported. It was also mentioned the wall to Wanneroo Road, while functional, should be refined for a softer character.
Principle 9 Community		<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>
	S	9a. This principle is supported by the Panel. 9b. The Panel commented this proposal delivers essential NDIS housing that meets a critical community need. 9c. It was stated by the Panel the design contributes positively to the streetscape and urban cohesion. 9d. The communal design approach enhances interaction and social support among residents.

Principle 10 Aesthetics		<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>
	P	10a. It was stated by the Panel the material and finishes palette should reference and complement the site's existing character and broader context. 10b. Comment was made the street and public-facing walls require careful material selection and integrating public art is encouraged. 10c. The Panel noted public art should form part of the site's interpretive narrative. 10d. Comment was made by the Panel opportunities exist to celebrate the site's heritage and retain or reinterpret elements of the existing graffiti art.

Design Review progress

**Item 1 – DA25/1289 – 680 Wanneroo Road, Balga – Development Assessment Panel – Form 1
– 22 Multiple Dwellings and One Consultancy Room
DRP Meeting – Thursday 6 November 2025**

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P	<i>Design Principle pending further attention</i>		
N	<i>Design Principle not satisfied</i>		
	DR1 6/11/2025	DR2	DR3
Principle 1 - Context and character	P		
Principle 2 - Landscape quality	P		
Principle 3 - Built form and scale	P		
Principle 4 - Functionality and build quality	P		
Principle 5 - Sustainability	P		
Principle 6 - Amenity	P		
Principle 7 - Legibility	P		
Principle 8 - Safety	P		
Principle 9 - Community	S		
Principle 10 - Aesthetics	P		

Recommendations Summary
Item 1 – DA25/1289 – 680 Wanneroo Road, Balga
DRP Meeting – Thursday 6 November 2025

DR1 – DRP Recommendations DRP Meeting – 6/11/2025	DR1 – Applicant Response DRP Meeting – 6/11/2025	DR2 DRP Recommendations DRP Meeting –	DR2 – Applicant Response DRP Meeting –
1d. The Panel suggested further demonstration of how the proposal responds to its surrounding context would be beneficial. 1g. The presentation of the front wall should avoid a harsh or defensive appearance; an open or articulated approach is preferred. 1h. The Panel stated it is important to ensure a continuous and well-defined frontage to Fieldgate Square. 1i. Comment was made by the Panel the noise walls should be softened with articulation, openings, and planting. 1j. It was recommended by the Panel to retain the street-facing storey to discourage graffiti and maintain activation. 1k. The Panel suggested a detailed streetscape study should be provided to assist with telling what the true context is.			
2b. Comment was made the tree table is sound, however, additional large trees are encouraged. 2c. The Panel stated there appears to be some lost opportunity in relation to landscape engagement with the street. 2d. The communal areas and circulation spaces should better promote passive activity and shaded incidental use, which are currently limited.			

2e. The Panel encouraged the Applicant to reduce areas of solid paving wherever possible. 2f. The Applicant was urged to discuss with the City opportunities for verge planting and additional POS planting to soften the site edges. 2g. It was recommended by the Panel the Applicant should review paving treatments to the car park and change areas for consistency and permeability. 2h. It was suggested the Applicant should consider relocating the bin store to enable a large tree at the junction of the two buildings. 2i. Comment was made by the Panel where planting space is constrained climbing plants or vines should be considered. 2j. The Panel suggested reviewing the species list to include more shade-tolerant species. 2k. It was stated by the Panel although large trees are included in the development, species diversity and extent should be increased to improve canopy cover. 2l. It was suggested by the Panel to explore opportunities to introduce more sunlight into the sunken courtyard areas. 2m. Comment was made by the Panel landscape plays an important role. The landscaping needs to be maintained properly and there is opportunity to create good courtyards and make these flourish.			
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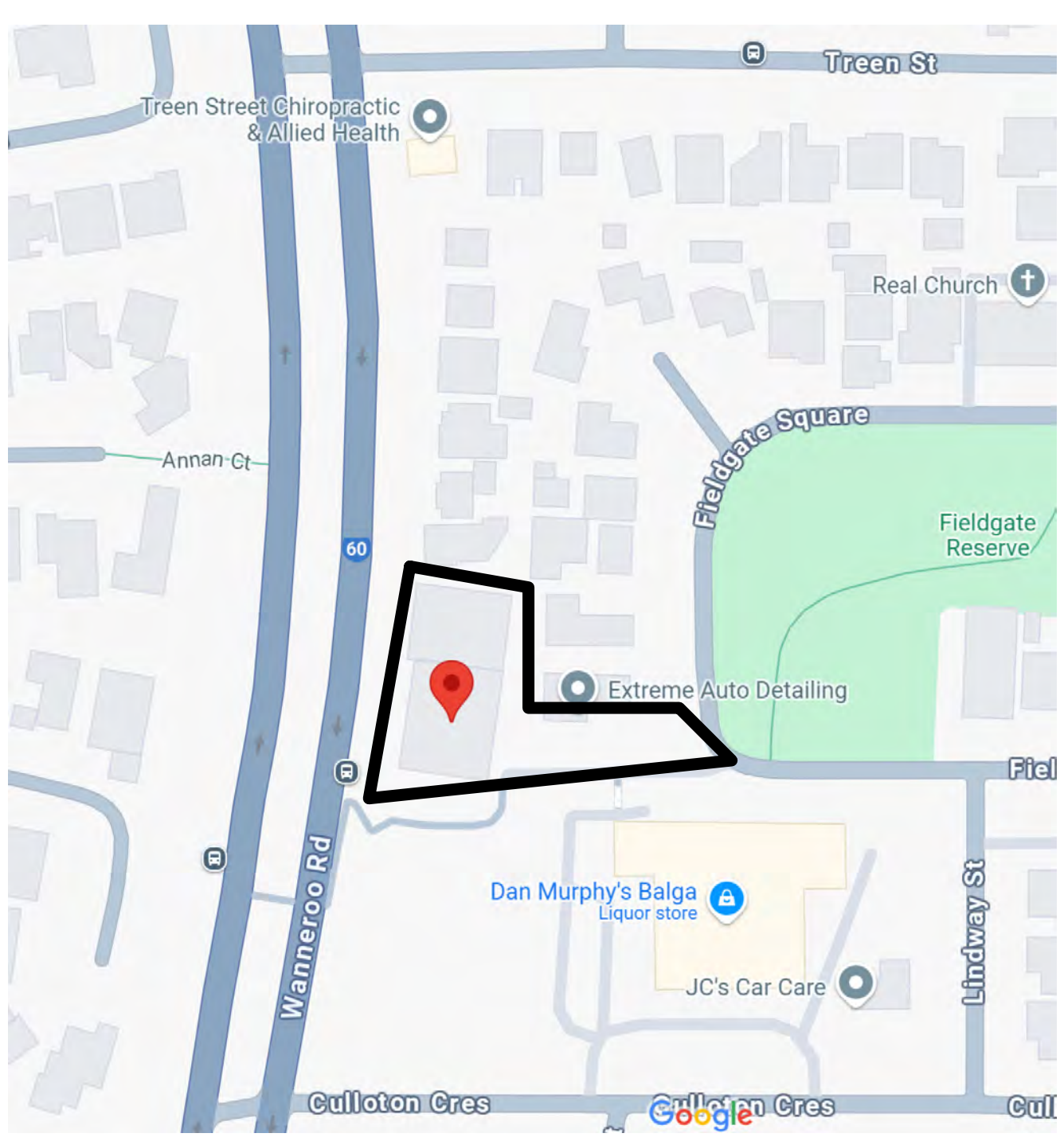
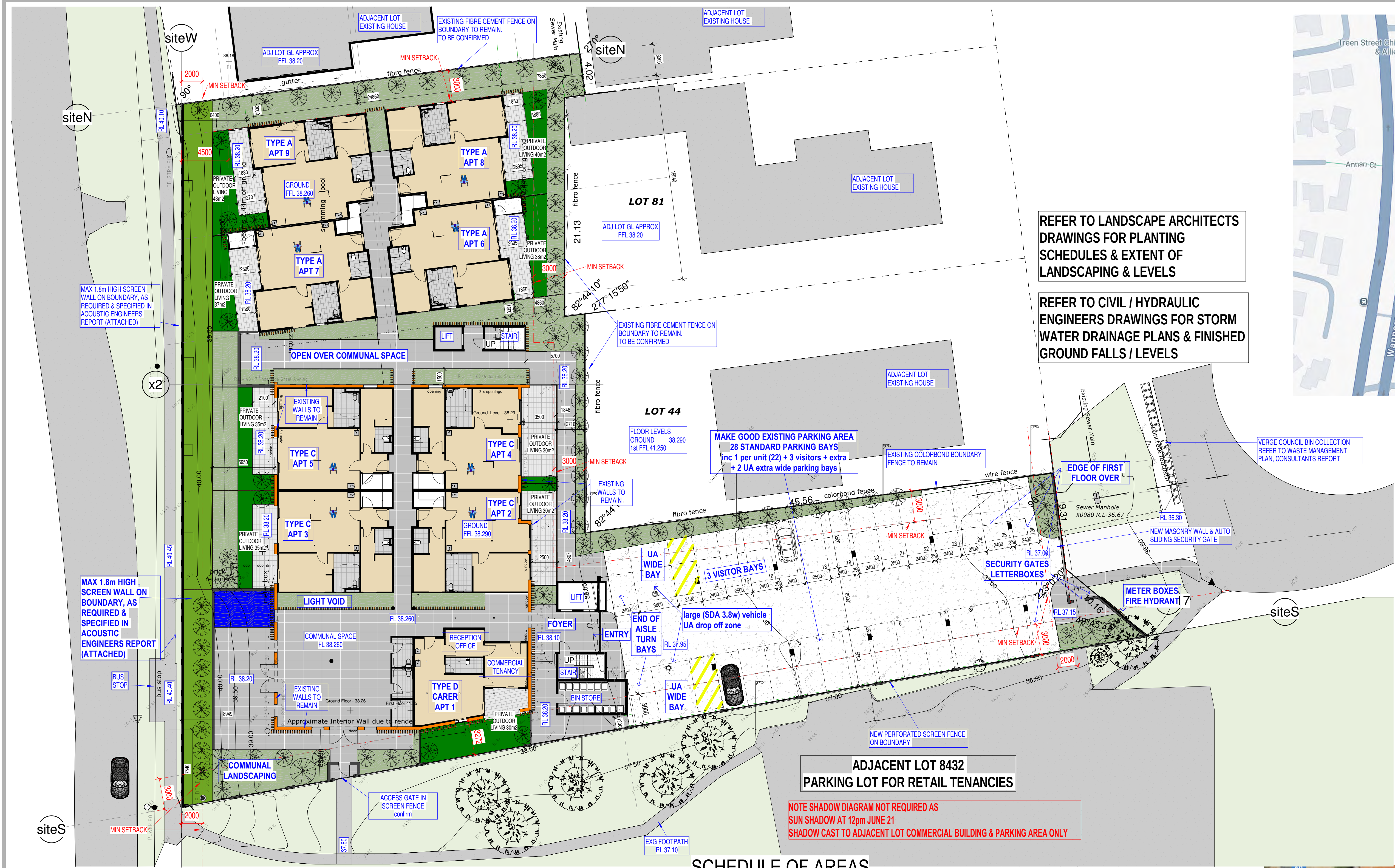
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1
DA1-01

MODEL VIEW SOUTH WEST

proposed SDA care accommodation residential apartment building 680 Wanneroo Rd Balga for Abel property



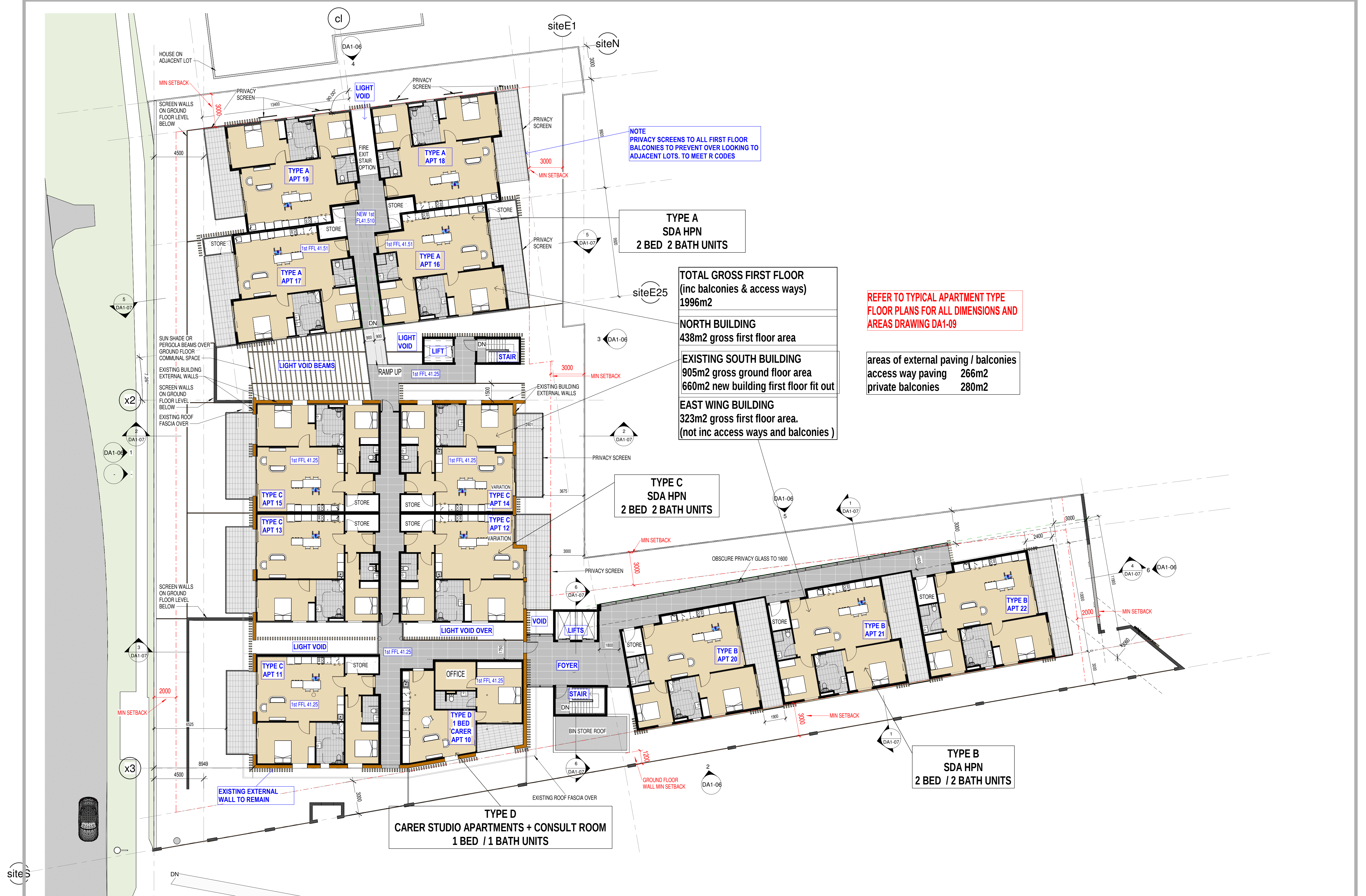
SITE LOCATION PLAN

SCHEDULE OF AREAS

SITE	3437m2		
OPEN SPACE	1565m2	(not including open sided parking area)	
AREAS total 22 units on 2 levels			
ground floor	8 x SDA HPN =	2 bedroom / 2 bathroom nom 100m2	
	1 carer unit =	1 bedroom + commercial tenancy (consult room)	
1st floor	12 x SDA HPN =	2 bedroom / 2 bathroom nom 100m2	
	1 x carer unit =	1 bedroom	
total apartments	22 apartments with private balconies & store rooms, communal space with pool, lift / stairs, bin stores		
parking for max 28 bays	- 1 bay per unit (22) + 3 visitors + 2 UA drop off bays extra wide 3.8m as per SDA2019		
SCHEDULE OF AREAS			
TYPE A			
apartments 6, 7, 8, 9, 16, 17, 18, 19	105m ² gross floor area	+ 4m ² store room + 18m ² balcony or ground floor paving	97m ² internal floor area
TYPE B			
apartments 20, 21, 22	103m ² gross floor area	+ 4m ² store room + 23m ² balcony outdoor living	95m ² internal floor area
TYPE C			
apartments 2, 3, 4, 5, 11, 12, 13, 14, 15, 3, 5, 11, 13, 15	104m ² gross floor area		100m ² internal area
2 & 12	102m ² gross floor area		98m ² internal area
4 & 14	95m ² gross floor area		92m ² internal area
all + 4m ² store room + 18m ² balcony or ground floor paving			
TYPE D			
ground floor apartment 1	75m ² gross floor area + 32m ² commercial tenancy inc 3m ² store room + 10m ² paving		95m ² internal floor area
1st floor apartment 10	103m ² gross floor area inc 3m ² store & office + 10m ² balcony		77m ² internal floor area
* gross floor area includes external wall			







NOTE
PRIVACY SCREENS TO ALL FIRST FLOOR
BALCONIES TO PREVENT OVER LOOKING TO
ADJACENT LOTS. TO MEET R CODES

TYPE A
SDA HPN
2 BED 2 BATH UNITS

TOTAL GROSS FIRST FLOOR
(inc balconies & access ways)
1996m2

NORTH BUILDING
438m2 gross first floor area

EXISTING SOUTH BUILDING
905m2 gross ground floor area
660m2 new building first floor fit out

EAST WING BUILDING
323m2 gross first floor area.
(not inc access ways and balconies)

REFER TO TYPICAL APARTMENT TYPE
FLOOR PLANS FOR ALL DIMENSIONS AND
AREAS DRAWING DA1-09

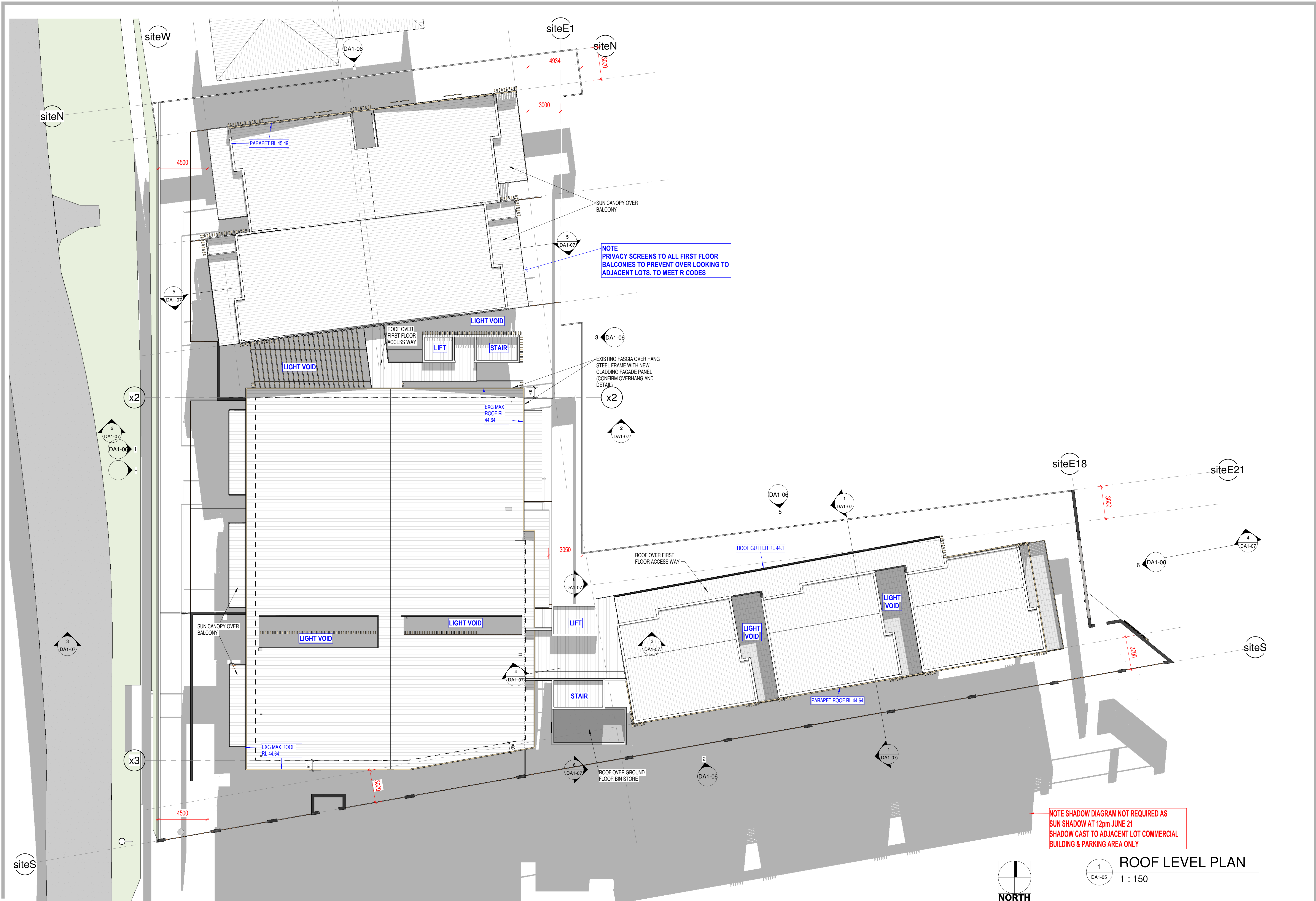
areas of external paving / balconies
access way paving 266m2
private balconies 280m2

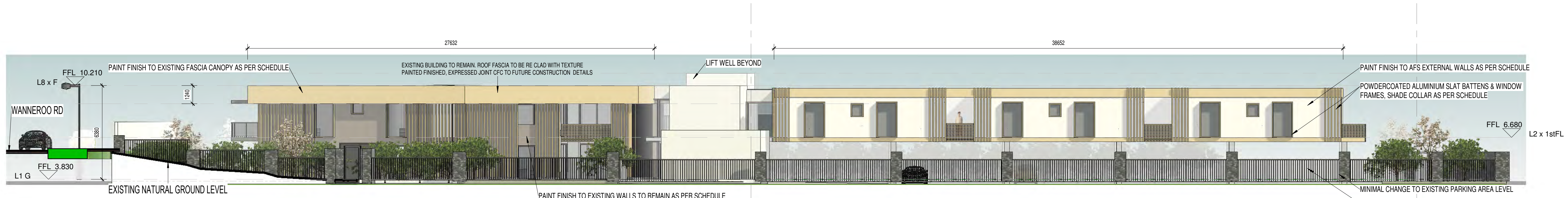
TYPE C
SDA HPN
2 BED 2 BATH UNITS

TYPE B
SDA HPN
2 BED / 2 BATH UNITS

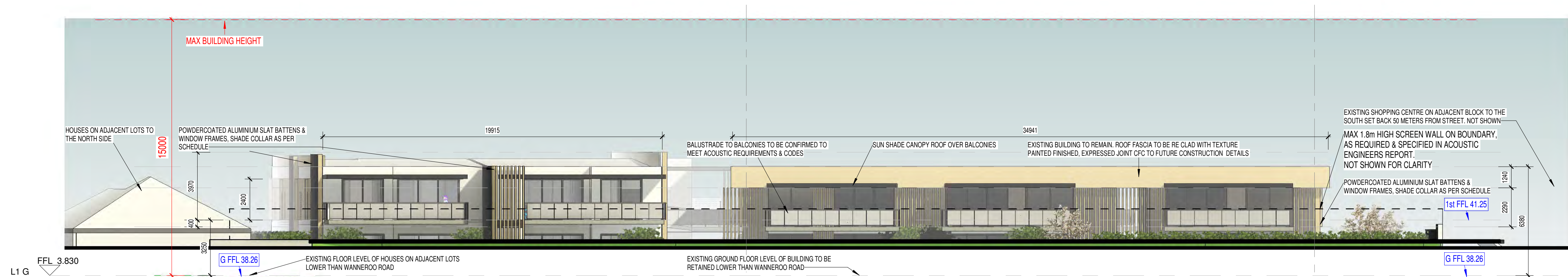
TYPE D
CARER STUDIO APARTMENTS + CONSULT ROOM
1 BED / 1 BATH UNITS

1st FLOOR L2 PLAN
1 : 150





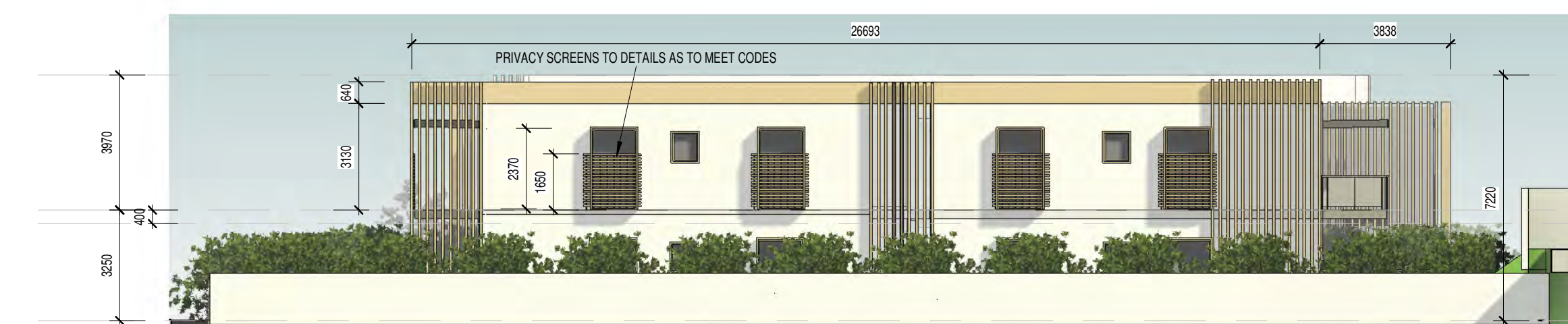
2 south elevation
1 : 150



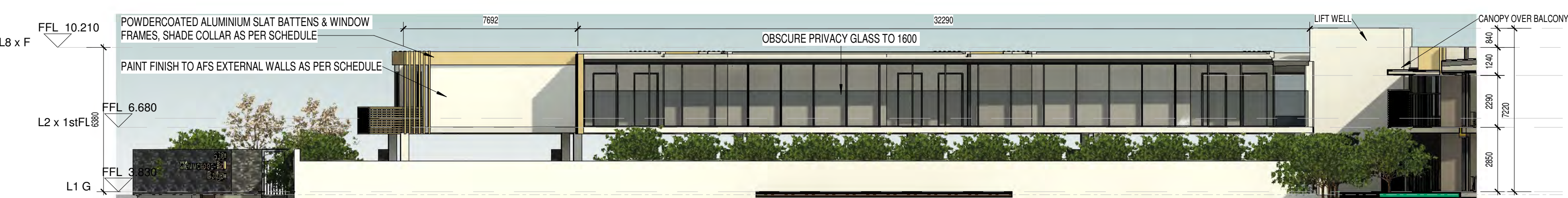
1 west elevation WannerooRd
1 : 150



3 east elevation 2
1 : 150



4 north elevation 1
1 : 150



5 north elevation 2
1 : 150



6 east elevation Fieldgate
1 : 150

EXTERNAL FINISHES

COLORBOND METAL DECK ROOF SHEETING

Colorbond® Surfmist®
46650_218741

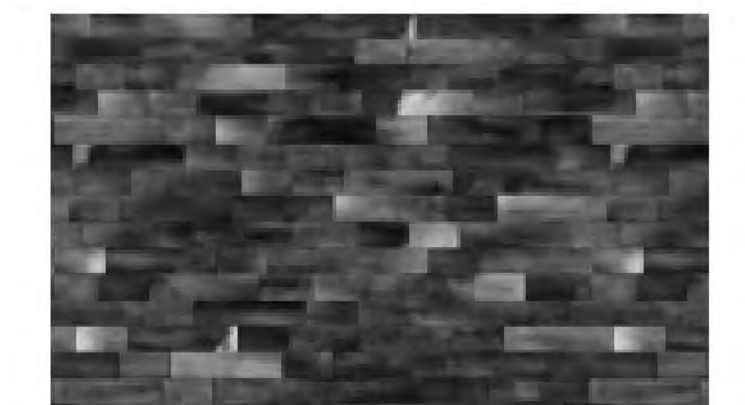
FEATURE WALLS EXTERNAL



EXTERNAL WALLS

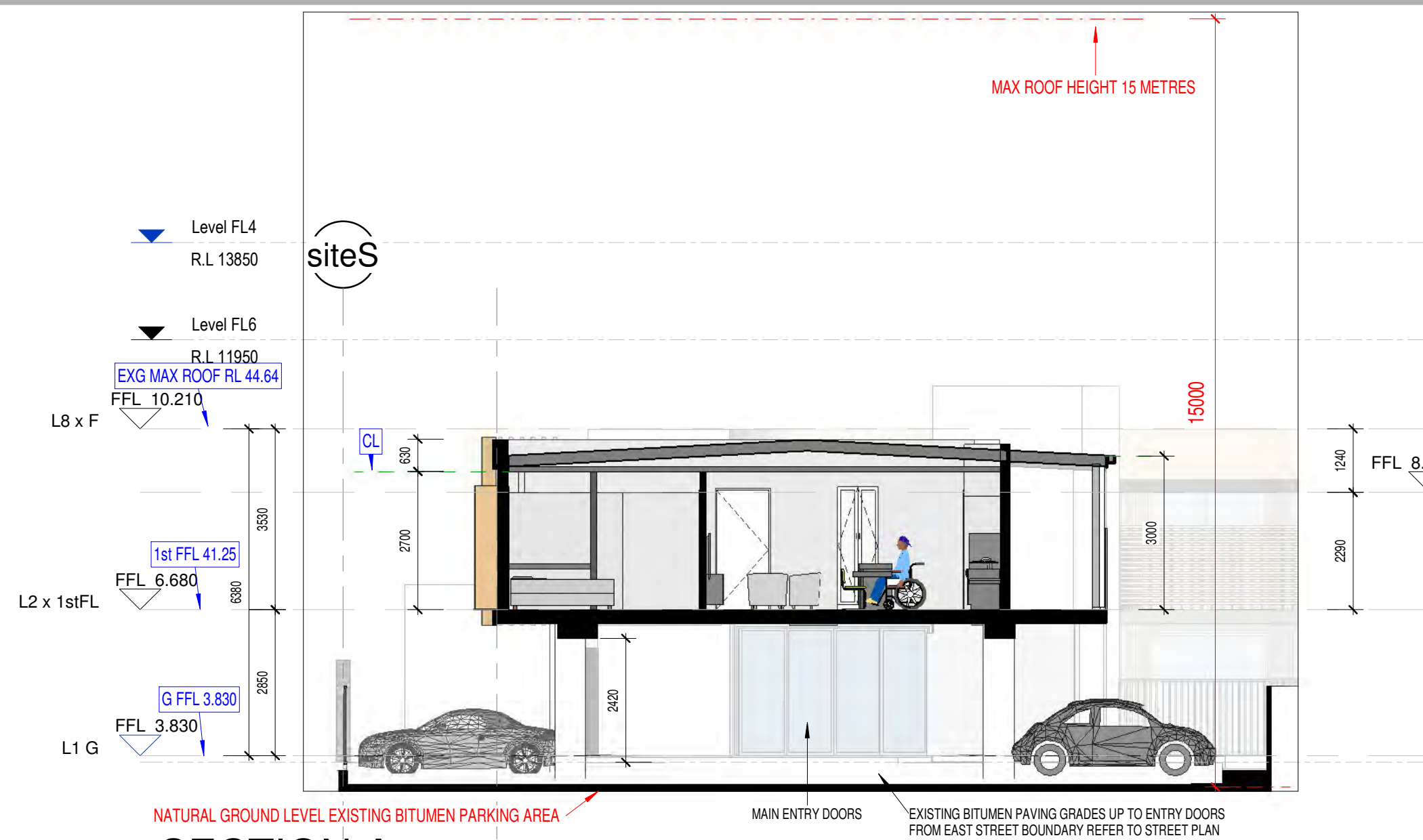
Dulux®
Snowy Mountains Half
227801_200650

STONE CLAD FEATURE WALLS



ALUMINIUM - WINDOW FRAMES, VERTICAL BATTENS
PRIVACY SCREENS, FASCIA PANELS

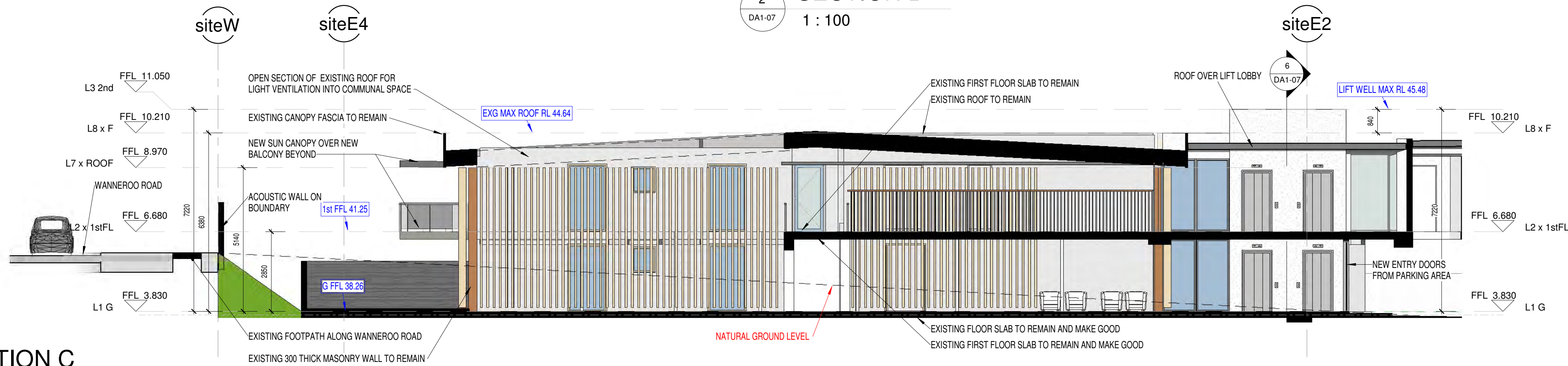
PAPERBARK®
MATT
90Z3174M



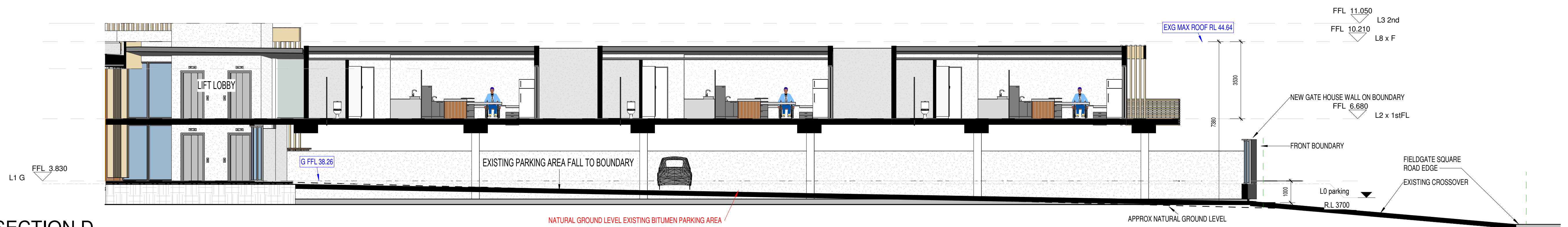
1
DA1-07
SECTION A
1 : 100



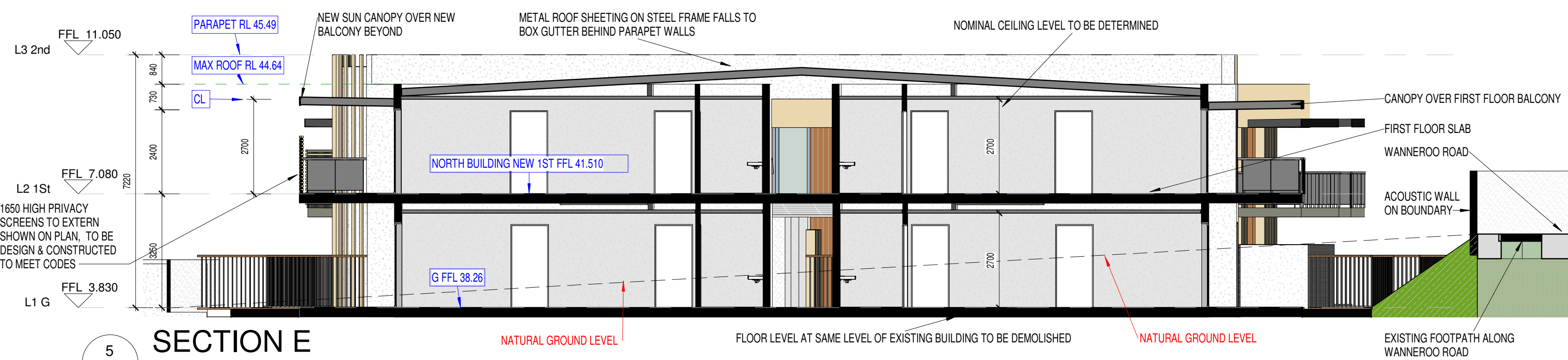
2
DA1-07
SECTION B
1 : 100



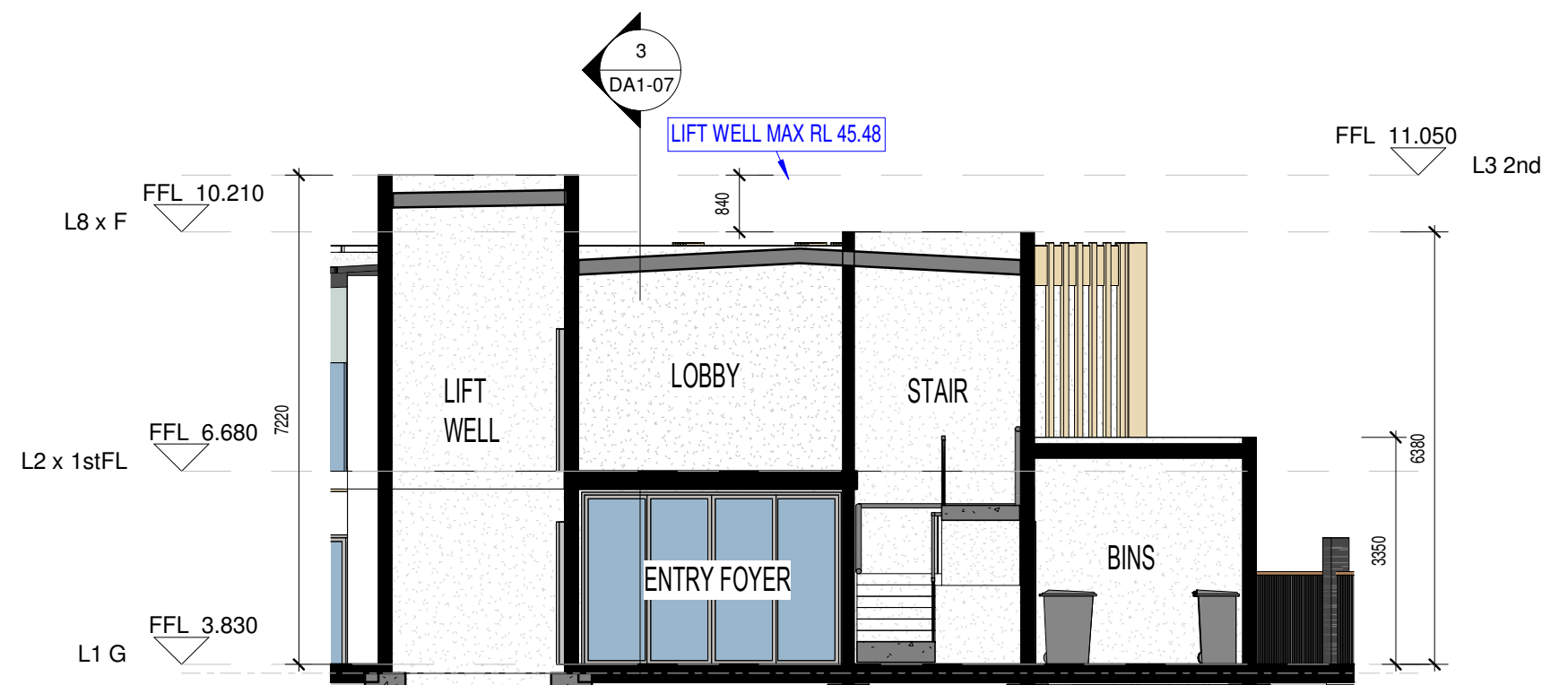
3
DA1-07
SECTION C
1 : 100



4
DA1-07
SECTION D
1 : 100



5
DA1-07
SECTION E
1 : 100



6
DA1-07
SECTION F
1 : 100



Solar access hourly schedule

9.00(am) - 15.00 (3pm)

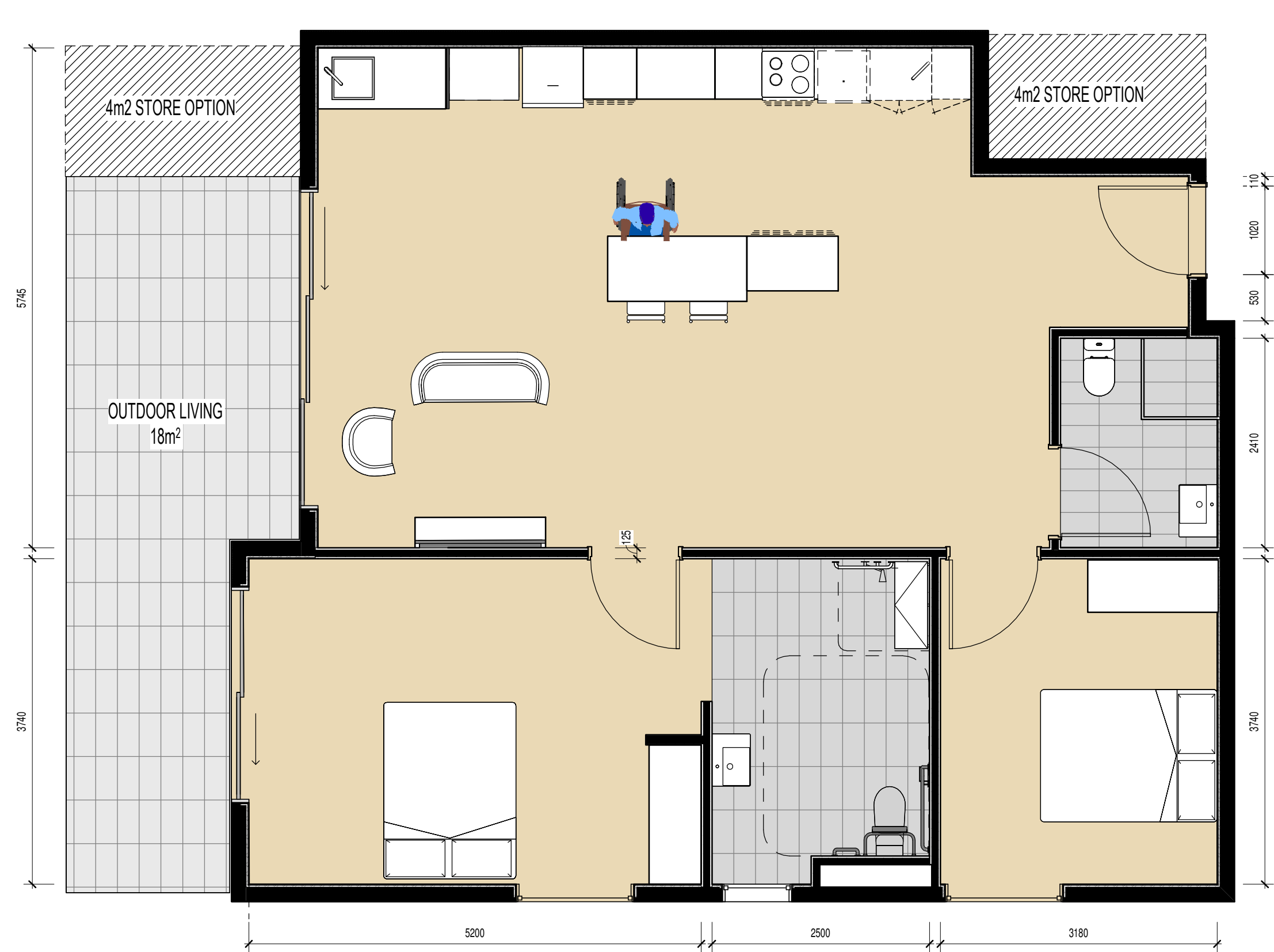
apartment	1 + 10			2 + 12			3 + 13			4 + 14			5 + 15			6 + 16			7 +17			8 + 18			9 + 19			11			20 + 21 + 22		
time range	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds	int living	open living	beds
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14.00																																	
15.00																																	
total hours	0	0	0	2	4	2	2	4	2	2	4	3	2	4	4	2	4	2	2	4	2	2	4	3	2	4	4	2	4	2	4	4	4

1
DA1-08

SOLAR & VENTILATION STUDY

1 : 150 GROUND FLOOR APARTMENTS ARE IDENTICAL TO FIRST FLOOR AS SHOWN





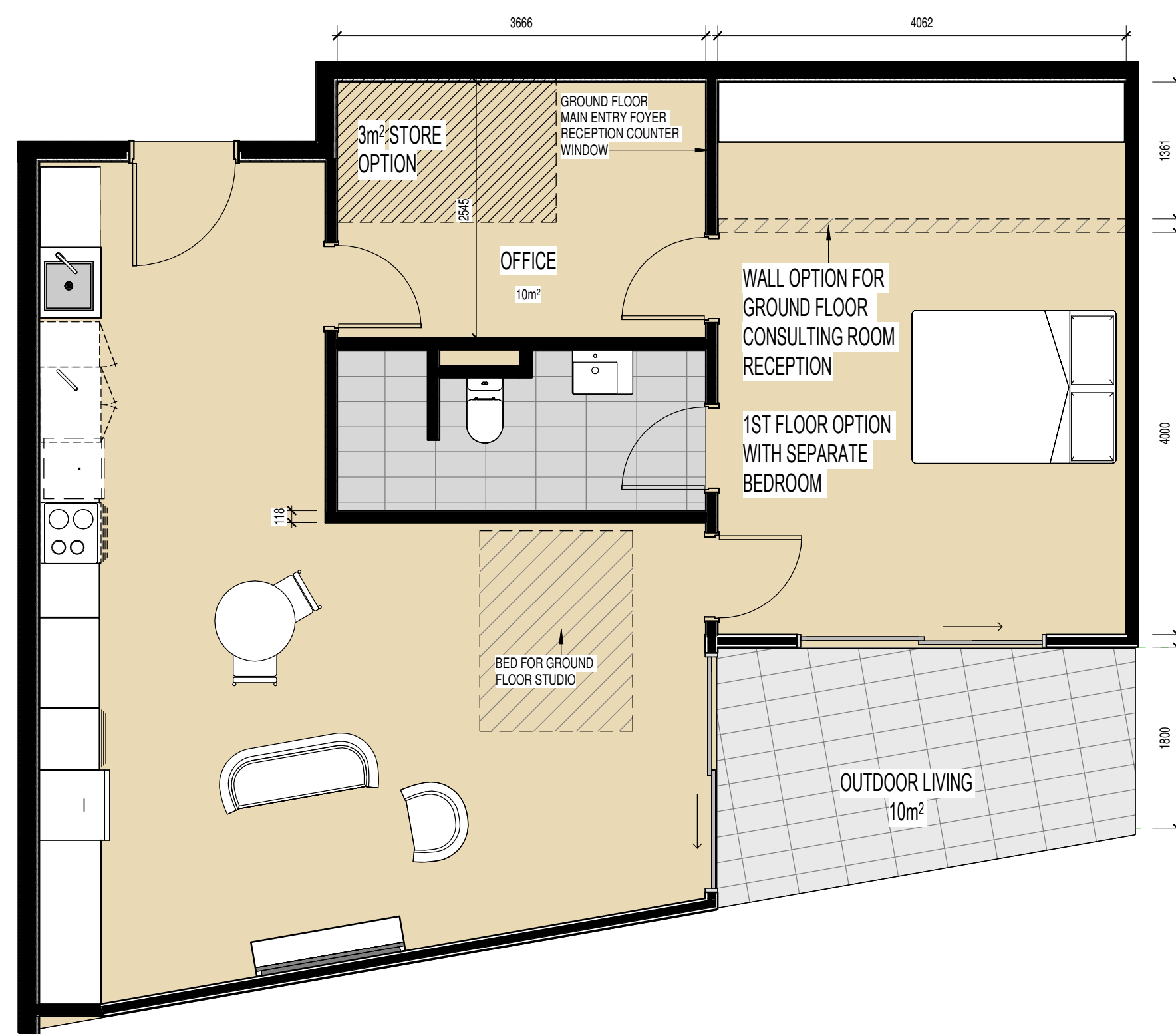
TYPE A

TYPE A - SDA HPN
2 BED = 105m²
internal floor area 97m² + 4m² store
+ 18m² balcony outdoor living (30m² ground floor)



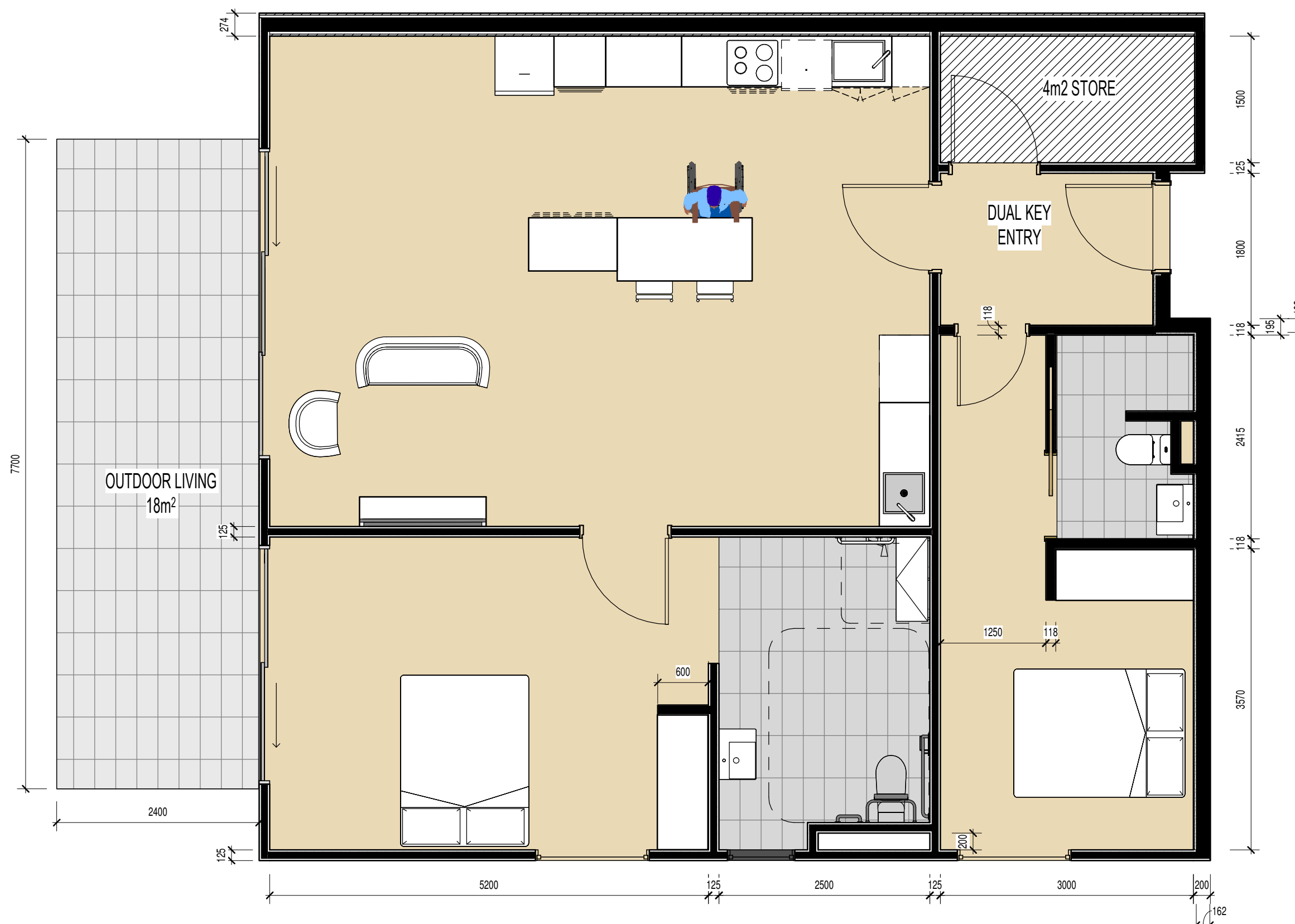
TYPE B

TYPE B - SDA HPN (east wing)
2 BED = 103m²
internal floor area 95m² + 4m² store
+ 23m² balcony outdoor living



TYPE D

TYPE D
CARERS 1 BED APARTMENTS
FIRST FLOOR 103m² (inc store)
GROUND FLOOR STUDIO / COMMERCIAL SPACE
751m² total (inc store)



TYPE C

TYPE C - SDA HPN DUAL KEY
Dual Key option separate carer access studio
2 BED floor areas varies refer to schedules

WALL TYPE LEGEND SPECIFICATIONS

WALL TYPE - 1 AFS-DIV-1 = apartment dividing walls Wall finish both sides 30mm furring channels (with acoustic insulation) + 13mm GYPROCK + tile to bathrooms nom 13mm	162mm AFS = 274mm
WALL TYPE - 2 EXT-AFS-W = external walls with White texture paint finishes externally Wall finish internal 16mm furring channels (with thermal insulation) + 13mm GYPROCK + tile to bathrooms nom 13mm	162mm AFS = 200mm
WALL TYPE - 3 INT-1 = internal walls adjacent to bathrooms + acoustic insulation + Wall finish 13mm GYPROCK & bedroom side + Wall finish 10mm GYPROCK bathroom side + 12mm ply sheet (for plumbing & grip rail support) to bathrooms side + nom 13mm tile finish	92mm steel stud frame = 130mm
WALL TYPE - 4 INT-2 = internal walls all rooms other than bathrooms + wall finish 13mm GYPROCK both sides + acoustic insulation	92mm steel stud frame = 120mm nom (118mm)
ELECTRICAL NOTES DOUBLE GPO @ min 600mm - 1100mm ABOVE FL UNLESS NOTED	

WALL DIMENSIONS ON ROOM LAYOUT FLOOR PLANS ARE TO FINISHED SURFACE.
ANY DISCREPANCIES IDENTIFIED ON SITE DURING CONSTRUCTION MUST BE REFERRED TO ARCHITECTS & DESIGNERS FOR CLARIFICATION & APPROVAL.
DO NOT SCALE PRINTED DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER PRINTED SCALE AND DIGITAL MODEL.
ALL DOORS TO HAVE MIN 950mm CLEAR WIDTH

SCHEDULE OF AREAS

TYPE A

apartments 6, 7, 8, 9, 16, 17, 18, 19
105m² gross floor area
+ 4m² store room
+ 18m² balcony or ground floor paving
internal floor area 97m²

TYPE B

apartments 20, 21, 22
103m² gross floor area
+ 4m² store room
+ 23m² balcony outdoor living
internal floor area 95m²

TYPE C

apartments 2, 3, 4, 5, 11, 12, 13, 14, 15,
3, 5, 11, 13, 15 104m² gross floor area
100m² internal area
2 & 12 102m² gross floor area
98m² internal area
4 & 14 95m² gross floor area
92m² internal area
all + 4m² store room + 18m² balcony or ground floor paving

TYPE D

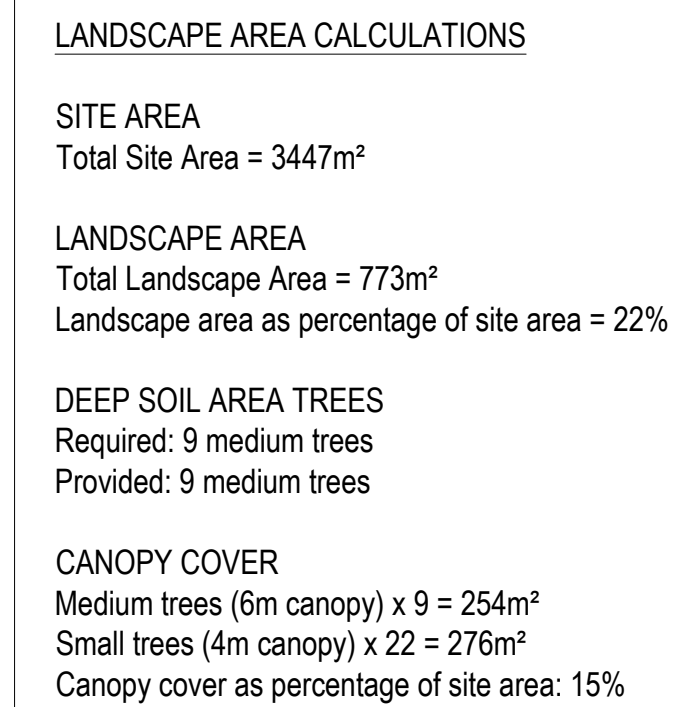
ground floor apartment 1
75m² gross floor area
32m² commercial tenancy inc 3m² store room
+ 10m² balcony outdoor living paving
internal floor area 95m²

first floor apartment 10

103m² gross floor area
inc 3m² store & office
+ 10m² balcony
internal floor area 77m²

* gross floor area includes external walls

L - 01	LANDSCAPE PLAN
L - 02	PLANTING SPECIFICATIONS



TREES

					
Angophora costata	Agonis flexuosa	Eucalyptus caesia	Eucalyptus torquata	Eucalyptus victrix	Hakea laurina

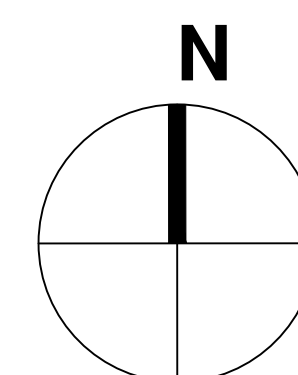
SHRUBS

					
Adenanthos	Banksia integrifolia	Correa alba	Hypocalymma	Melaleuca huegelii	Melaleuca seriale

GRASS PLANTS

		
Conostylis aculeata	Dianella revoluta	Ficinia nodosa

GROUND COVER PLANTS					
					
Acacia lasiocarpa prostrate	Calothamnus quadrifidus 'Little Boeser'	Eremophila glabra 'Kalbarri Carpet'	Grevillea crithmifolia prostrate	Hemiandra pungens	Mycoporum parvifol 'Broadleaf'



A	DEVELOPMENT APPROVAL			AC	14.08.2023
revision/issue description		drawn		date	
project PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT	for ABEL			description LANDSCAPE PLAN	
location 680 WANNEROO ROAD, BALGA	PROPERTY				
URBAN RETREAT	GARDEN DESIGN	scale 1:250	project no 25339	dwg no L=01	rev 00
COMMERCIAL AND RESIDENTIAL LANDSCAPE DESIGN SERVICES	www.urbanretreatgardens.com.au E:amalia@urbanretreatgardens.com.au M:08 955 3113	@ A1			

INSTALLATION SPECIFICATIONS

1. TREE AND PLANT MATERIAL SUPPLY AND PLANTING

1.1 PLANT MATERIAL

- ALL PLANT STOCK SUPPLIED BY CONTRACTOR SHALL BE OF THE SPECIES AND SIZES AS THOSE ON THE PLANT SCHEDULE. SHOULD THERE BE ANY DIFFICULTIES IN SOURCING PLANTS, THE CONTRACTOR SHALL RECOMMEND SIMILAR SUITABLE SUBSTITUTE SPECIES AND/OR SIZES TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS SHALL TAKE PLACE WITHOUT WRITTEN APPROVAL BY THE SUPERINTENDENT.
- GREENLIFE AND TURF MUST BE WELL KEPT: DELIVERED TO SITE ON DAY OF INSTALLATION, OUT OF FULL SUN, AWAY FROM ANIMALS AND PESTS AND ROOTS NOT ALLOWED TO DRY OUT AND SHALL:
 - BE TRUE TO SPECIES, SUBSPECIES AND VARIETY
 - BE IN FIRST CLASS CONDITION AND HEALTHY
 - BE OF GOOD FORM CONSISTENT WITH SPECIES AND VARIETY
 - AND BE PLANTED AS PER THE INSTRUCTIONS BELOW.

1.2. GENERAL PLANTING INSTRUCTIONS

- SETTING OUT OF WORKS: WHERE UNDERGROUND SERVICES, MANHOLES, CABLE PITS, KERBING, PAVING AND OTHER OBSTRUCTIONS OCCUR, PLANT CLEAR OF SUCH SERVICES AND OBSTRUCTIONS AND PROTECT THEM FROM DAMAGE BY MACHINES AND EQUIPMENT.
- REFER CIVIL PLAN AND NOTE POSITION OF SOAK WELLS. LARGE SHRUBS AND TREES SHALL BE POSITIONED TO AVOID PLANTING DIRECTLY OVER ALL SOAKWELLS.
- ALL PLANTS ADJACENT PATHS, CAR SPACES, SERVICES, GATES AND THE LIKE SHALL BE PLANTED WITH APPROPRIATE OFFSET TO THEIR MATURE SIZE (MINIMUM OFFSET 500MM) TO PREVENT GROWING OVER TRAFFICABLE AREAS AND SERVICES.
- REMOVE ALL PLANTS FROM THEIR CONTAINERS. IN SUCH A MANNER AS TO DO AS LITTLE DISTURBANCE AS POSSIBLE TO THE ROOTS. WHERE NECESSARY, GENTLY TEASE OUT ROOTBALLS BEFORE PLANTING.
- PLACE TREES, SHRUBS AND PLANTS IN HOLES IN AN UPRIGHT POSITION AND BACKFILL LEVEL WITH TOP OF ROOTBALL. COMPACT SOIL BY HAND.
- REFER ALL TYPICAL PLANTING DETAIL DRAWINGS ON THIS PAGE.
- A ROOT BARRIER IS TO BE INSTALLED FOR ALL TREES.
- LIGHT JUTE MATTING SHALL BE INSTALLED ON SLOPE BANKING PRIOR TO PLANTING AS PER MANUFACTURERS' INSTRUCTIONS. MULCH IS TO BE INSTALLED AS SPECIFIED OVER MATTING.

1.3 SOIL CONDITIONER

- AFTER SITE WORKS AND BEFORE PLANTING - SUPPLY AND INSTALL SOIL CONDITIONER TO ALL PLANTING AREAS
- PRIOR TO PLACEMENT ENSURE ALL BASE MATERIAL IS CLEAN, FREE DRAINING AND FREE OF ALL BUILDER'S RUBBLE, RUBBISH, DELETERIOUS MATERIAL AND CONTAMINATION. ALL AREAS CONTAMINATED BY THE BUILDER OR OTHERS SHALL BE REMOVED AND REPLACE WITH CLEAN FILL SAND TO THE APPROVAL OF THE SUPERINTENDENT.
- PLACE SOIL CONDITIONER TO A DEPTH OF 15MM OVER THE FULL EXTENT OF AREAS TO BE CONDITIONED. ROTARY-HOE OR SPADE DIG WHERE NECESSARY. SOIL CONDITIONER INTO EXISTING SITE SOIL TO A DEPTH OF 80MM TO PRODUCE A FULLY HOMOGENEOUS MIX. REMOVE ALL RUBBLE OR OTHER EXTRANEIOUS AND DELETERIOUS MATTER EXPOSED AS A RESULT OF CULTIVATION, INCLUDING ANY BASE COURSE MATERIAL.
- SOIL CONDITIONER SHALL COMPLY WITH AS4454COMPOSTS, SOIL CONDITIONERS AND MULCHES.

1.4 FERTILISING

- AFTER PLANTING AND AT TIME OF BACK FILLING ALL PLANTS ARE TO RECEIVE APPROVED PROPRIETY ITEM OF EIGHT TO NINE MONTH SLOW-RELEASE FERTILISER SUITABLE FOR AUSTRALIAN NATIVE PLANTS.
- FERTILISER TO BE APPLIED IN BACKFILL (BELOW GROUND) DURING PLANTING AT THE MANUFACTURERS' RECOMMENDED RATE FOR THE RELATIVE PLANT SIZE, AND AT A MINIMUM RATE AS FOLLOWS:
 - 45 LITRE POT SIZE PLANTS TO HAVE 80 GRAMS
 - 13CM - 14CM POT SIZE PLANTS TO HAVE TEN GRAMS

2. MULCH

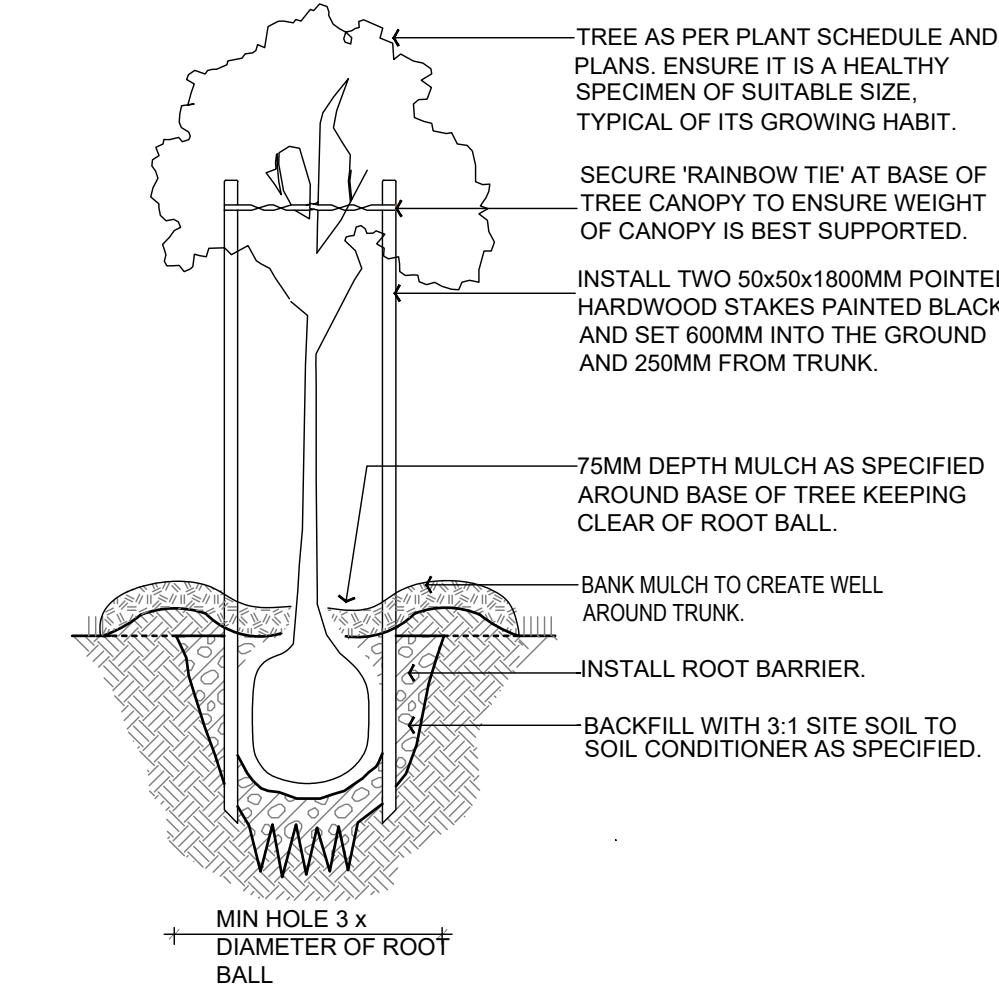
- ALL GARDEN BEDS INCLUDING TO BE MULCHED.
- ALL MULCH SHALL MEET AUSTRALIAN STANDARD 4454-2012.
- SITE MULCH SHALL BE CHUNKY WOOD CHIPS SPREAD TO 75MM DEEP WITH 50MM CLEARANCE AROUND PLANT STEMS.
- MULCH IS TO BE COMPLETELY FREE OF ALL NOXIOUS WEEDS, SEEDS AND FUNGUS, INSECT PESTS AND OTHER DELETERIOUS MATERIAL.

- TIDY AND GRADE MULCH AFTER APPLICATION, FINISHING 20MM BELOW SURROUNDING HARD SURFACES.

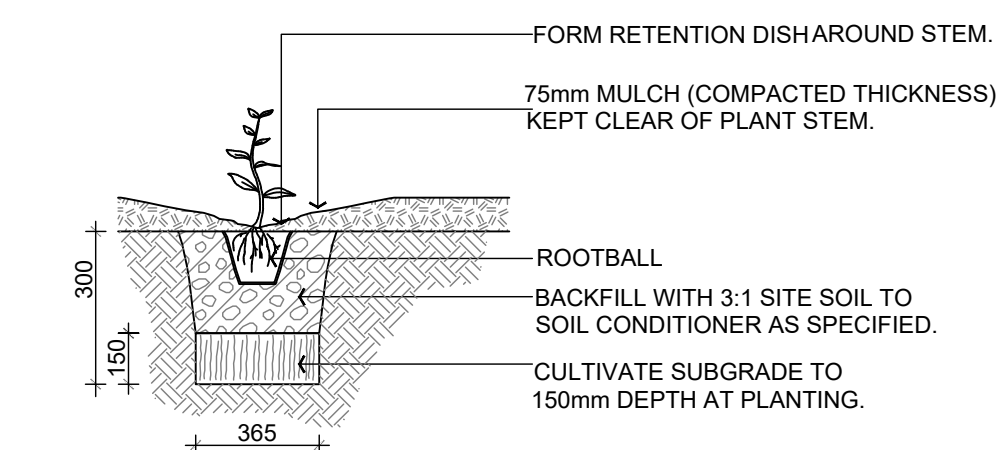
3. IRRIGATION

- ALL GARDEN BEDS AREAS WITHIN THE EXTENT OF SITE AREA TO BE IRRIGATED.
- INSTALL A SUB-MULCH DRIP SYSTEM FOR ALL GARDEN BEDS AND INDIVIDUAL BUBBLERS FOR ALL SITE TREES INSTALL IRRIGATION LINES OVER JUTE MATTING AND UNDER MULCH.
- CONTROLLER TO BE AUTOMATIC SYSTEM WITH RAIN SENSOR. LOCATION TO BE CONFIRMED ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR LAYOUT DESIGN AND INSTALLATION OF IRRIGATION SYSTEM.
- AT TIME OF COMPLETION THE IRRIGATION SYSTEM SHALL BE FULLY AUTOMATED, WORKING EFFICIENTLY AND EFFECTIVELY AND WATERING TIMES PROGRAMMED.

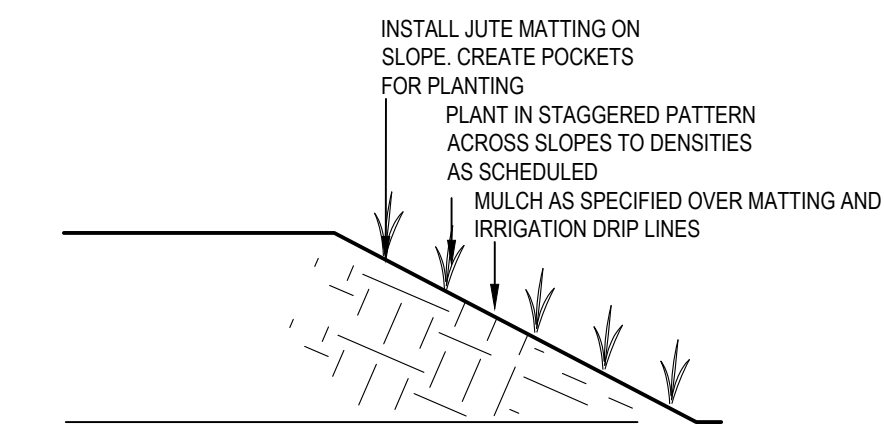
TYPICAL DRAWINGS



1 TREE PLANTING DETAIL
L-02 TYPICAL SECTION NOT TO SCALE

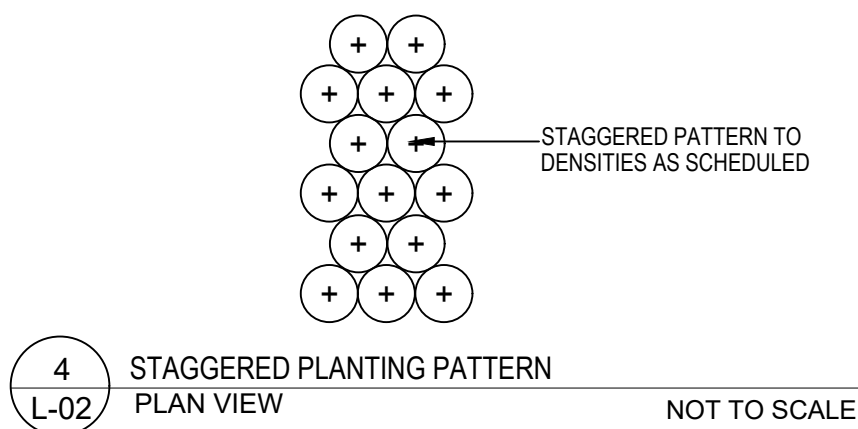


2 13-14cm POT PLANTING DETAIL
L-02 TYPICAL SECTION NOT TO SCALE



NOTE: SLOPE IS INDICATIVE ONLY - REFER CIVIL WORKS DRAWINGS FOR DETAILS

3 SLOPE PLANTING DETAIL
L-02 TYPICAL SECTION NOT TO SCALE



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revision/issue	description	for	drawn date
project	PROPOSED RESIDENTIAL APARTMENT DEVELOPMENT	ABEL	
location	680 WANNEROO ROAD, BALGA	PROPERTY	
			PLANTING SPECIFICATIONS
URBAN RETREAT GARDEN DESIGN		scale	project no
COMMERCIAL AND RESIDENTIAL LANDSCAPE DESIGN SERVICES		A1 SHEET	25.339
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		rev	00