

Application of Local Development Plan

Local Development Plan – Bethanie on the Park, Lot 14691 (2) Plantation Street, Menora.

The City of Stirling Local Planning Scheme No. 3 is varied as detailed in this LDP. All other requirements of Local Planning Scheme No. 3 shall be satisfied in all other manners.

Open Space/ site coverage

A minimum of 45% open space to be achieved across the development area.

If the development progresses in stages, sufficient supporting information is to be provided with any Development Application to demonstrate that the subject application and any subsequent stages are capable of satisfying the overall open space requirement.

Northern boundary interface

1. An appropriate and attractive interface between the development and Yokine Reserve shall be provided through the use of visually permeable fencing, the placement of windows, entries, balconies and other articulations to maximise the surveillance, activity and visual presentation to the reserve and the use of materials, colours and finishes which respond to the context of the mature vegetation on Yokine Reserve.
2. Development fronting Yokine Reserve shall provide direct private pedestrian access between the building and Yokine Reserve in the identified locations.
3. Development in the northern portion of the Local Development Plan area shall demonstrate provision of view corridors between Yokine Reserve and the interior of the site, generally in the locations of the view corridors depicted in this Local Development Plan. View corridors shall ameliorate impacts of building bulk and provide for residential amenity including visual and acoustic privacy, natural ventilation, sunlight and daylight access, and outlook to Yokine Reserve.

Development Zone 1A

Single Storey Development

3. Any residential development within Development Zone 1A that does not exceed a single storey shall
 - a. achieve the 'deemed to comply' setback requirements of Element 5.1.3 of the Residential Design Codes between the development and western lot boundary only; and
 - b. comply with the maximum building height requirements for Category A buildings

Three Storey Development

4. Any building with a height greater than one storey adjacent to the western boundary shall be located in the '3-storey development' area of Development Zone 1A and shall:
 - a. Be designed to ensure that a high level of articulation and visual interest is achieved by a combination of different elements and changes in texture, material and colour.
 - b. Minimise direct overlooking of habitable rooms and outdoor living areas of neighbouring properties through the orientation and design of windows, balconies and screening of any walkways.

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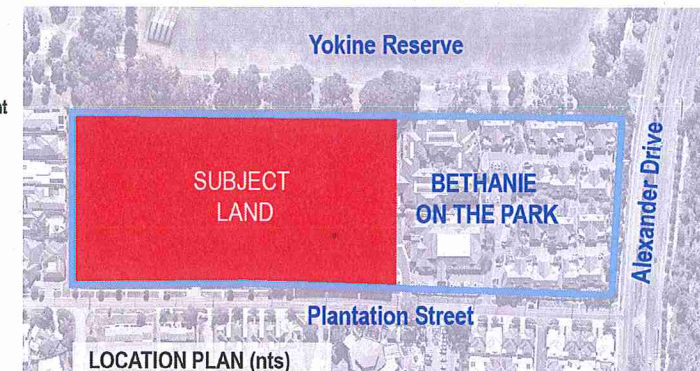
- c. Ensure a retained ground floor level of 25.50AHD with a maximum floor to floor height of 3m.
 - d. Incorporate a 5m setback zone to the third storey along the western boundary that may be landscaped or otherwise beautified, but will not be utilised as a balcony or walkway and shall only be accessible for maintenance purposes
 - e. Provide a detailed landscaping plan for the identified landscaping buffer zone
5. The single storey and 3 storey development options are mutually exclusive within Development Zone 1A. Should 3 storey development occur in Development Zone 1A, the 10m planting area and 5m upper level setback will be provided along the (north-south) length of the 3 storey development.

Western boundary interface

6. Any landscaping plan provided with any development application for the '3-storey development area' shall incorporate vegetation species - *Waterhousea floribunda* (Weeping Lilly Pilly) and sizes (showing planted size of 150L) and include the location of trees spaced at a minimum of 4m centres along the western edge of the landscape buffer and offset a minimum of 2m from the western boundary line.
7. Trees and vegetation within the planting area along the western boundary are to minimise the visual impact of the building within the '3-storey development' area from the adjoining residential properties to the west and are to be irrigated and maintained.
8. Trees and landscape planting within the landscaping buffer in the absence of a development greater than 1 storey may be removed/ relocated as necessary in the event that Development Zone 1A is developed as single-storey dwellings

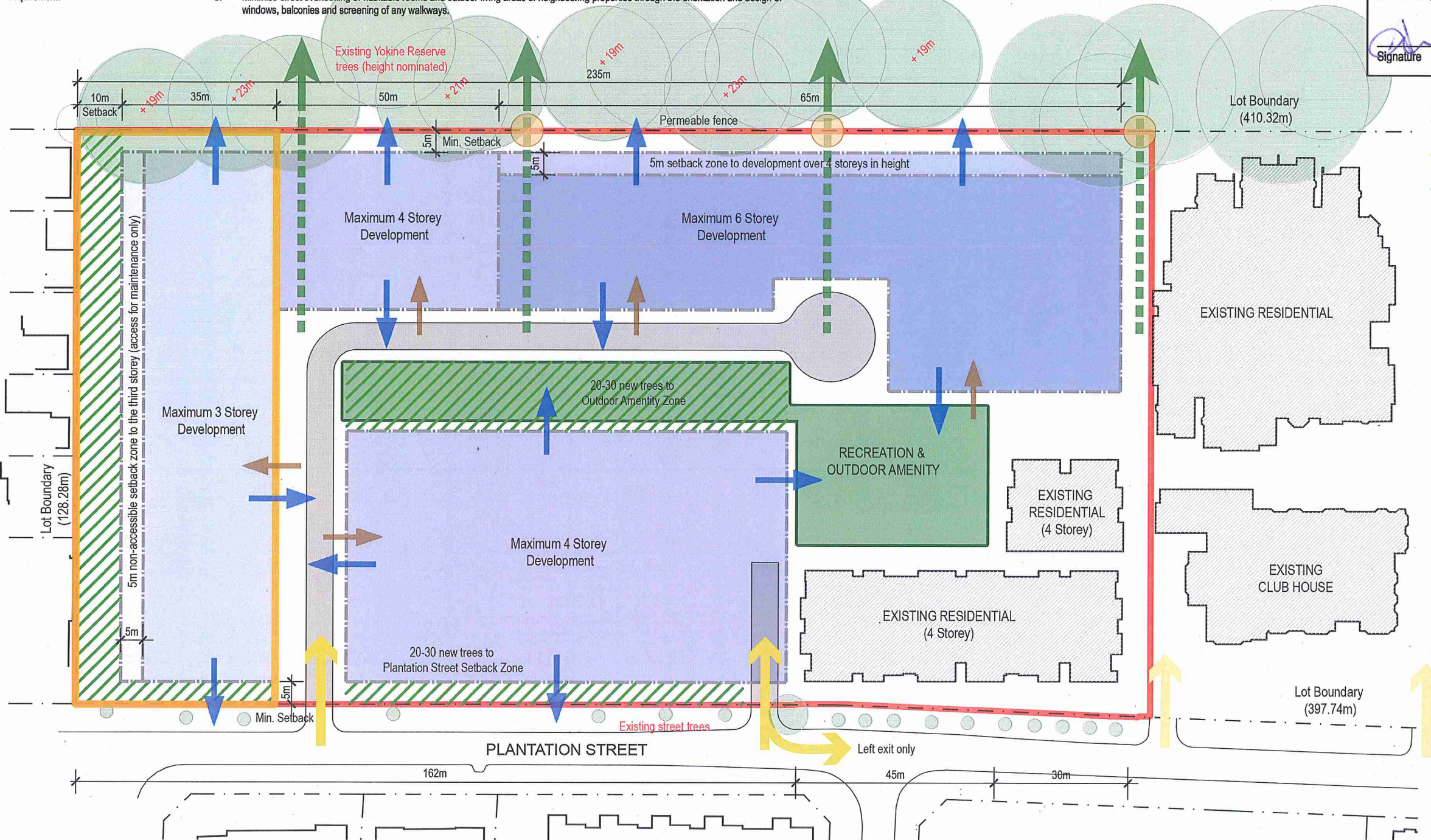
Vehicle access

9. A maximum of two crossovers are permitted to the site. The location of the vehicle access to the four storey development zone is indicative and may vary based on assessment of the relevant future development application.

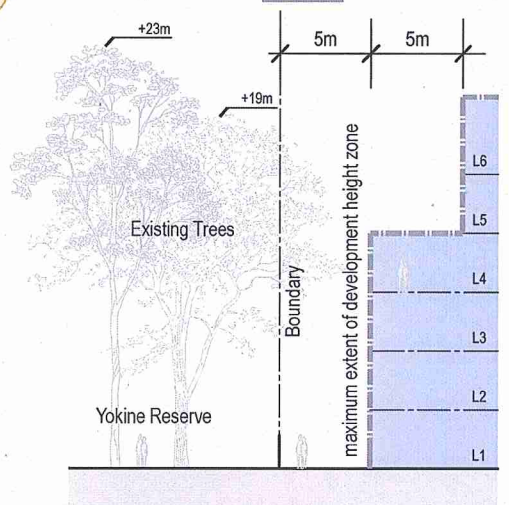


Approval
This LDP has been approved by the City of Stirling under clause 52(1) of Schedule 2 of the Planning and Development (Local Planning Schemes) Regulations 2015.

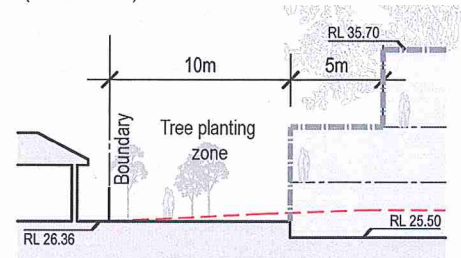
Signature:  Date: 27.4.21



- LEGEND**
- Existing access/ egress
 - Proposed access/ egress
 - View Corridor
 - Pedestrian access
 - Orientation
 - Indicative park access
 - Development Height Zone
 - Subject Land
 - Development zone 1A
 - Tree planting zone
 - Recreation & Amenity
 - Indicative road layout



Explanatory Section 1
Max. 6 Storey Development on Northern Boundary (Yokine Reserve)



Explanatory Section 2
Western Boundary - Zone 1A

BETHANIE ON THE PARK
LOCAL DEVELOPMENT PLAN

City of Stirling
31 Mar 2021
RECEIVED

 **Bethanie**
You're among friends



SCALE: 1: 1000 @ A3
DATE: MAY 20
DRAWN: T&Z
JOB NO: 620022
DRAWING NO: LDP-01_Rev3

 **T&Z ARCHITECTS**

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