

3.1A CHARACTER RETENTION GUIDELINES INGLEWOOD

PART 1 - INTRODUCTION AND PURPOSE

1.1 INTRODUCTION

Where there is an inconsistency between the provisions of these Guidelines and other Policies the provisions of these Guidelines shall prevail, except where the Beaufort Street Local Development Plan applies.

1.2 PURPOSE

To provide a framework for the assessment of development applications to ensure the policy objectives are met.

The purpose of these Guidelines is to ensure that the heritage character of Inglewood is retained and protected, as well as being reflected in new development.

1.3 OBJECTIVES

The retention of the heritage buildings, gardens and streetscapes is important, as these are the features that give the area its heritage character. Some buildings in the area are included on the State Register of Heritage Places, the City of Stirling's Heritage List and Local Heritage Survey, but many more contribute to the character of the area. New buildings including additions, where they occur, should be designed to fit into the existing streetscape, and be designed in a similar style, scale and proportions as the existing heritage buildings.

The key objectives of these Guidelines are to: -

- Ensure the retention of buildings within the Inglewood Heritage Protection Areas dating from the early 1900s to the 1950s where the architectural style of the building is generally intact;
- Ensure that new buildings, alterations and additions to existing buildings, carports, garages and front fences are in keeping with the heritage character of the area, respect the scale and proportions of surrounding buildings, and where located on a **Character Street** are designed to fit into the existing streetscape;
- Maintain and improve existing street trees, grass verges and front gardens;
- Retain mature trees wherever possible; and
- Support environmentally sustainable design which respects the traditional character of the area.

These Guidelines apply to all land within the Inglewood Heritage Protection Area Special Control Area outlined in **Figure 1** Guideline Area.



1.5 DEFINITIONS

The following definitions apply within this policy:

Character Street:	Means streets which display ' Original Traditional Lot ' layouts and dwellings with traditional architectural styles and garden designs. These streets are shown in Figure 1 .
Locality:	Means properties within a 75m radius from the centre of the Original Traditional Lot to which the dwelling or addition is located (refer to Figure 2). Dwellings outside of the Inglewood Heritage Protection Area are not included within the 75m Locality area.
Original Traditional Lot:	Means the lot area established during the original subdivision of the land.
Predominant Building Line	Is measured from the roof line directly above the front door of the dwelling.

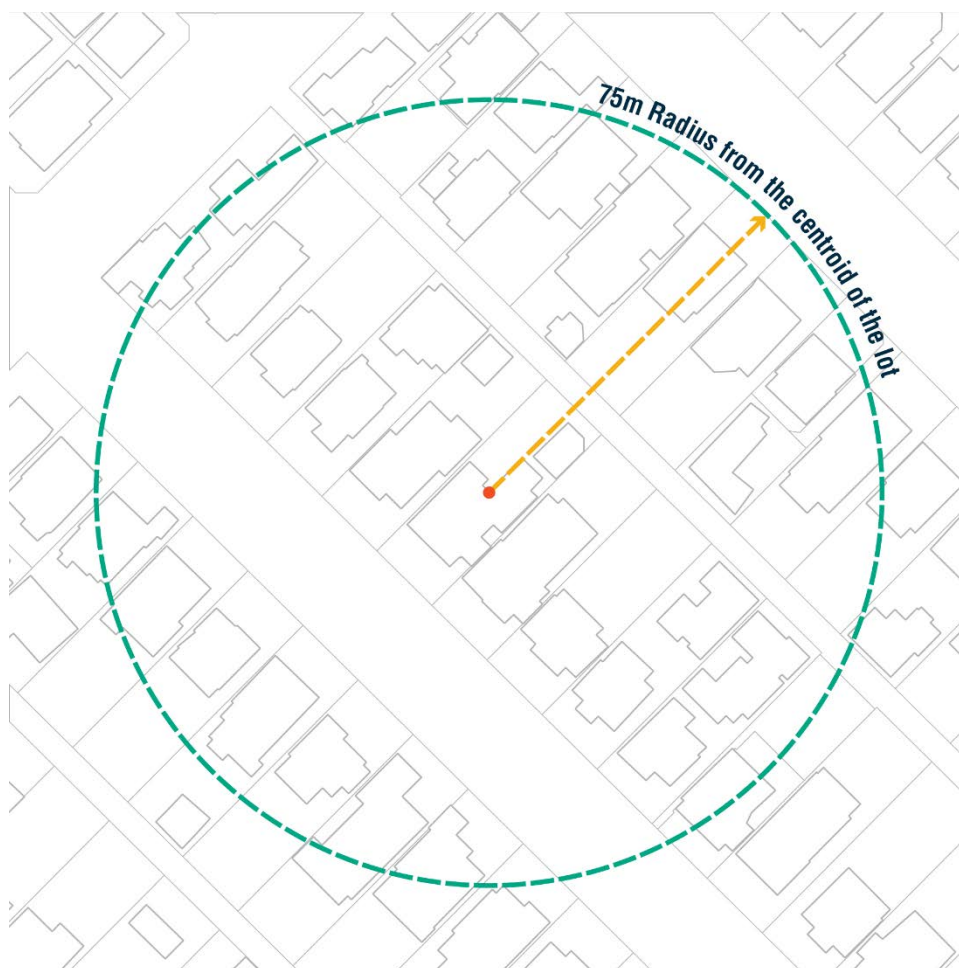


Figure 2 – How 'Locality' is determined

1.6 HOW TO USE THESE GUIDELINES

Part 2 of these guidelines provides an analysis of Inglewood, explaining why it has its special heritage character. This considers the area, including the characteristics of the streetscape and the features typical of the buildings in the area. This aim is to provide a context for new development as well as informing applicants of why there is a need to ensure that the development complements the existing buildings and character of the area.

The Guidelines apply to all types of development within the Inglewood Heritage Protection Areas, including the conservation of existing buildings, additions to existing buildings, new development, fences, carports and garages. These guidelines provide principles and specific requirements for detailed design, focusing on key elements such as the built form and streetscape.

All new development must meet the objectives of the relevant section and the overall objectives of the policy.

The City will use the guidelines to assist in determining whether proposed development is in keeping with the heritage character of the area.

1.7 RELATIONSHIP TO OTHER PLANNING DOCUMENTS

In preparing development proposals, these guidelines should be read in conjunction with the following planning documents:

- City of Stirling Local Planning Scheme No.3
- Residential Design Codes of Western Australia Volume 1 and 2
- City of Stirling Heritage List
- The City of Stirling local planning policies, specifically including those relating to residential development (e.g.; Residential Building Height and Development Abutting Rights of Way)
- The Beaufort Street Local Development Plan, and
- State Planning Policy 3.5 Historic Heritage Conservation.

Where any conflict exists between these guidelines and the Deemed-to-Comply and/or Element Objectives of the *Residential Design Codes*, the provisions of these guidelines shall prevail with due regard given to the Performance Criteria of the *Residential Design Codes*.

The words and expressions used in the Guidelines have the same meaning as those Local Planning Scheme No.3, unless otherwise defined in this policy.

1.7.1 RELATIONSHIP OF LOCAL PLANNING POLICY 3.1A TO THE BEAUFORT STREET LOCAL DEVELOPMENT PLAN

- a) The Beaufort Street Local Development Plan Area remains subject to Local Planning Policy 3.1A.
- b) The Beaufort Street Local Development Plan prevails if there is any inconsistency with Local Planning Policy 3.1A.

- c) The Beaufort Street Local Development Plan controls the built form and architectural style of new mixed use, non-residential, and residential multiple dwelling development within the local development plan area.
- d) All other matters shall be in accordance with the relevant provisions of this Local Planning Policy.

PART 2 - RESIDENTIAL CHARACTER ANALYSIS

2.1 INGLEWOOD HERITAGE PROTECTION AREA

2.1.1 DESCRIPTION OF THE AREA

The Inglewood Heritage Protection Area is bounded by Central Avenue, Carrington Street, Oxford Street, York Street, the City of Stirling boundary, Walter Road West, Dundas Road and Hamer Parade (refer **Figure 1**).

Streets referred to as 'Character Streets' are shown in **Figure 1**.

2.1.2 HISTORY OF INGLEWOOD

The subdivision and settlement of Inglewood occurred in several stages from the 1890s. There had been speculative investment in land in the area from the construction of the railway in the 1880s. Proximity to the city and to the railway made the area attractive to city workers at the time of the growth of commerce and trade that followed the gold boom period.

The area was settled gradually from the 1890s with the area closest to Railway Parade settled first. Areas to the north closest to Walter Road were settled in the 1950s. The style of dwellings varies over the area reflecting the changing styles in residential homes from the early 1900s to the 1950s.

2.1.3 SIGNIFICANCE

Inglewood is an area of considerable significance.

The area is a good example of a highly intact residential area close to the city characterised by typical homes occupied by the working people of Perth from the early 1900s to the 1950s. The area has aesthetic, historic and social significance because:

- It is a typical example of the rectangular grid road and subdivision pattern; and
- It contains good examples of housing from the early 1900s and inter-war period, including very good examples of Federation Bungalow and Californian Bungalow styles.

2.1.4 INGLEWOOD STREETSAPES/ CHARACTER STATEMENT

Inglewood is laid out in a rectangular grid pattern with lots of predominantly equal size in individual streets, but with some noted variation across the area. Traditional lot sizes vary throughout the area; however, the majority are between 650 and 750 square metres, with street frontages between 13 and 15 metres.

The area comprises predominantly single residential buildings with one dwelling to each lot, although this is changing since the upcoding of the area occurred. Dwellings are generally single storey, located towards the front of the lot and with the front door facing the street. Dwellings are set back an equal distance from the front boundary generally ranging from 5 to 9 metres in individual streets. Dwellings have front gardens with exotic plantings that reflect the period of construction. A range of fencing heights exist through the area, with

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front fences built in a range of styles including timber pickets, woven wire and low masonry fences. Mature trees, particularly in back gardens, provide an attractive tree canopy throughout the area (refer **Figure 3**).

Streets have pavements and grass verges on both sides with street trees planted at regular intervals. There is a variety of exotic species of street trees. Pavements are concrete slabs. Generally, there is one single width crossover per lot.

There are some areas of public open space in the area. Generally, they comprise grassed areas surrounded by mature trees. The main commercial area is located on Beaufort Street.

There are several areas where the character of the traditional streetscape has been altered by the amalgamation or subdivision of lots for unit development which do not follow established setbacks, etc. These developments are considered to have 'intrusive' or 'neutral' impacts on the **character street**. This is the same for homes which were constructed during the 1960's to present.

Houses are setback an equal distance from the street with exotic plantings in front gardens

Streets have pavements, verges and street trees



Low front fences allow houses to be seen from the street

Houses have a single crossover

Mature trees in backgardens provide tree canopy

Figure 3 – Layout of Inglewood Streets

2.1.5 TRADITIONAL INGLEWOOD DWELLINGS

Traditional dwellings in Inglewood were constructed predominantly in the period 1910 into the 1950s. Traditional dwellings are single storey and are generally constructed of red brickwork which in many instances are partly rendered. There are some weatherboard and iron dwellings remaining.

Dwellings are generally modest in scale and proportion and typical of middle-class housing of their era. However, wall heights are generally higher than contemporary standards with wall plates at around 3.5 metres above ground. Styles are predominantly Federation and Californian Bungalow with some examples of Mediterranean and Spanish Mission styles particularly in the more recently developed north western part of the area.

Federation Bungalow - c.1890-c.1915

The Federation Bungalow architectural style, which began to appear towards the end of the Federation era, is one of the styles found in the Inglewood area. It has its origins in the single- storey vernacular dwellings, with commodious verandahs, that were found in colonial countries such as India, and is considered to be a transition between the more decorative Federation Queen Anne style and the later, more assertive Inter-War Californian Bungalow style of residential architecture.

Stylistically, the Federation Bungalow style was strongly influenced by the Arts and Crafts movement and the concepts of the 'simple life' found in the West Coast of the United States during the late nineteenth and early twentieth centuries. It was widely regarded as a style suited for the Australian 'bush architecture' due to its spacious verandahs and simple construction that provided for laid back lifestyles and easy accessibility to the outdoors. Please refer to **Figure 4** for an example of a Federation Bungalow.

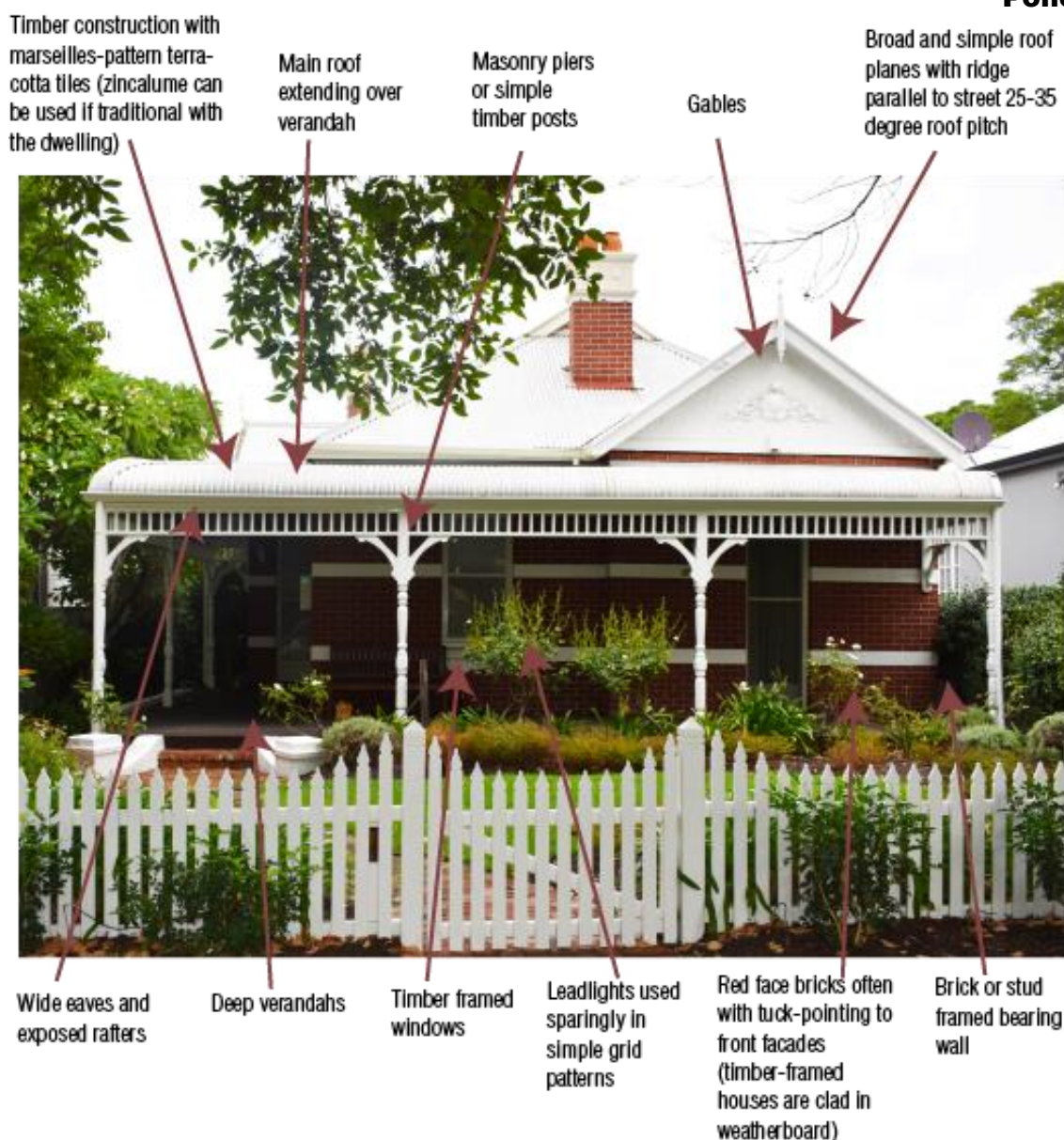


Figure 4 – Example of a Federation Bungalow

Inter-War California Bungalow - c.1915-c.1940

The bungalow became popular in the United States at the beginning of the twentieth century. Expressed in 'earthy' materials, these homes were low-slung and planned for a casual lifestyle, especially in the temperate climate of California.

Australian architects were designing individual interpretations of the Californian Bungalow, during the early years of the twentieth century and by the early 1920s many builders had embraced the style. In Australia, the Inter-war California Bungalow was generally built in brick with chunky carpentry details, rather than the fully timber construction that characterised the style in the United States. Residences built in this style are usually free-standing, single storey set on suburban blocks with informal lawns and gardens, often using natural materials and finishes. Examples are shown below and in **Figure 5**.

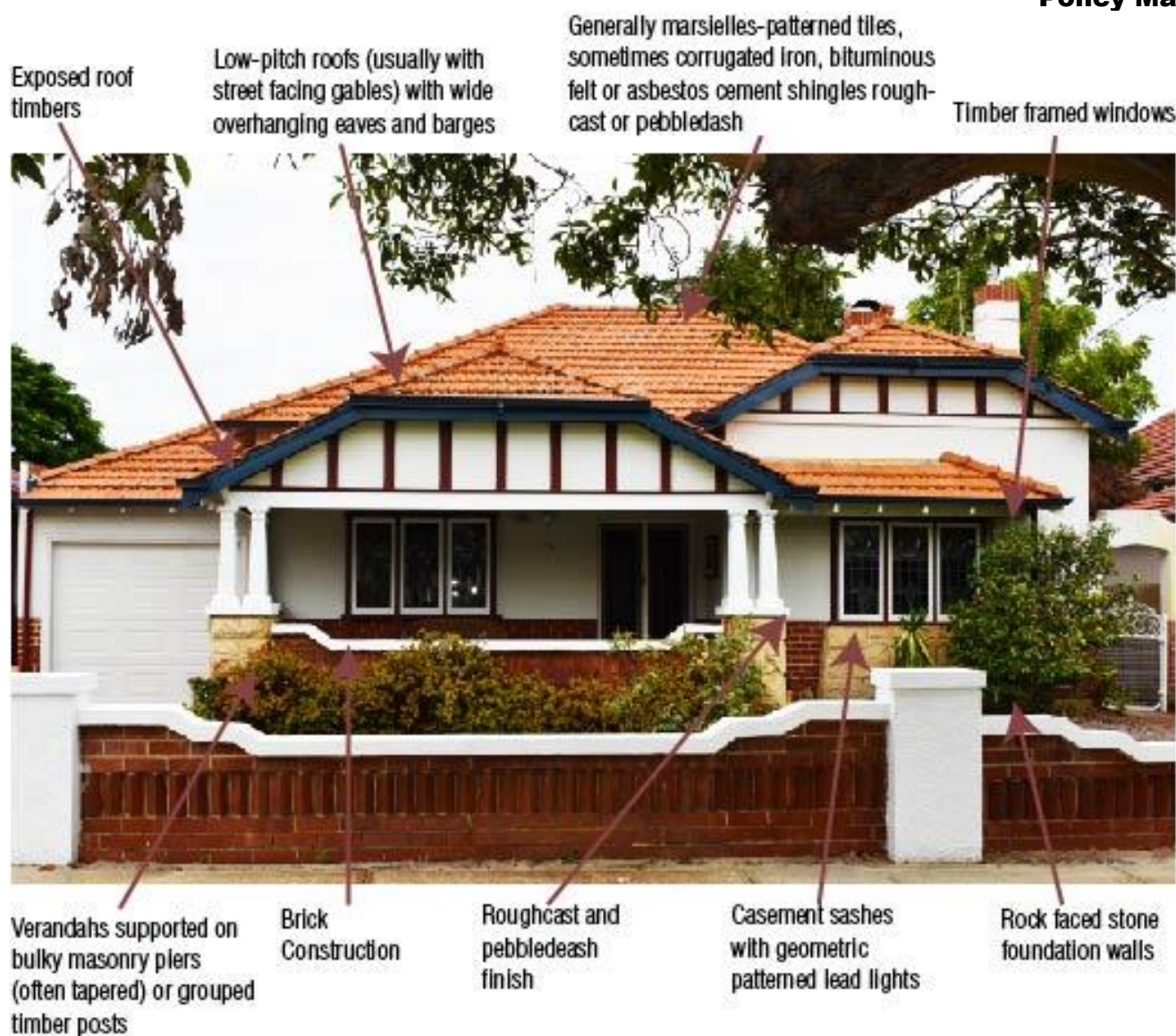


Figure 5 – Example of an Inter-War California Bungalow

Austerity Cottage - Late 1940s and 1950s

In the immediate Post-World War 2 period, new construction was impeded by financial limitations, material shortages and building restrictions, which governed the size and the style of housing. Materials such as timber, bricks, tiles and glass remained in short supply for a number of years. However, Australians were encouraged to have large families to populate the country, and this, together with the steady flow of immigrants, resulted in a great demand for housing.

The lack of materials and rising costs resulted in a reduction in ornamentation, the simplification of elements such as chimneys and the reductions of verandahs to small porches.

Many of the dwellings in the Inglewood area that were constructed after the Second World War continued to exhibit characteristics of the inter war styles prevalent in the area, albeit in a more simplified form.

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The 'Post War Austerity' was defined as one of the common architectural forms of the time. In the eastern states of Australia this was a basic fibro clad bungalow with a touch of streamlined modernism. In Western Australia, the same style was constructed in brick and is found in the areas of Inglewood and Menora that were first developed in the late 1940s and during the 1950s.

Residences built in this style are usually free-standing, single storey set on suburban blocks, generally with no front fence, but occasionally with a very low one, and a front lawn with few plantings.

Please refer to **Figure 6** for an example of the Austerity Cottage style.



Figure 6 – Example of an Austerity Cottage

PART 3 - DEMOLITION OF BUILDINGS

Objective

Retain and conserve traditional buildings within the Heritage Protection Areas, particularly those buildings dating from the early 1900s to the 1950s.

Applicants wishing to demolish a building within the Heritage Protection Area are required to lodge an application for development approval under Part 8 of Local Planning Scheme No. 3. The application should include a written justification for the proposed demolition addressing the points below.

- Provide evidence that the building was constructed from 1960 onward;
- Detail why the building is no longer an intact example of its architectural style (not including additions), addressing its form, scale, materials and detailing;
- Detail (with evidence from a qualified structural engineer or equivalent) why the building is structurally unsafe and irredeemable, and the conservation of the building is not viable (property owners are responsible for the maintenance of their asset and allowing a property to fall into disrepair will not facilitate an approval for demolition). Only where the building has been identified as an 'intrusive' or 'neutral' place (buildings of more recent design), consideration can be given to varying this requirement;

3.1 PARTIAL DEMOLITION OF A BUILDING

Demolition of a minor portion of a traditional building may be considered in the case of a development application for an addition to that building. The proposal must meet the objectives of *Part 4 'Residential Development'* or section 6.1 *'Commercial & Mixed-Use Development'* of these guidelines.

Demolition of large portions of a traditional building, or removal of original features from the front façade to facilitate a new addition will not be considered.

A partial demolition proposal must show the extent of the roof and wall fabric that is being retained.

A practising structural engineer's plan, specification and detail is required to be submitted to the City with the Building Permit to demonstrate how the structural integrity of the existing structure is to be maintained during building and demolition works.

The details are to include and not limited to:

- a) Methodology statement of work sequence;
- b) Details of proposed connection to the new work;
- c) Detail of any support of existing floor, walls and roof structures required;
- d) Details of any foundation support required.

PART 4 - RESIDENTIAL DEVELOPMENT PROVISIONS

The retention of the character of traditional buildings in the 'Character Streets' of Inglewood is a key objective of these guidelines. To retain these streetscapes while allowing design flexibility, different levels of design control apply to different parts of the lot as described below, while ensuring traditional buildings remain the dominant feature of the streetscapes.

This approach allows increased design flexibility the further the development is located from the 'Character Street'. Development will not be supported in the 'Foreground' part of a lot that does enhance and retain the character of the traditional dwelling.

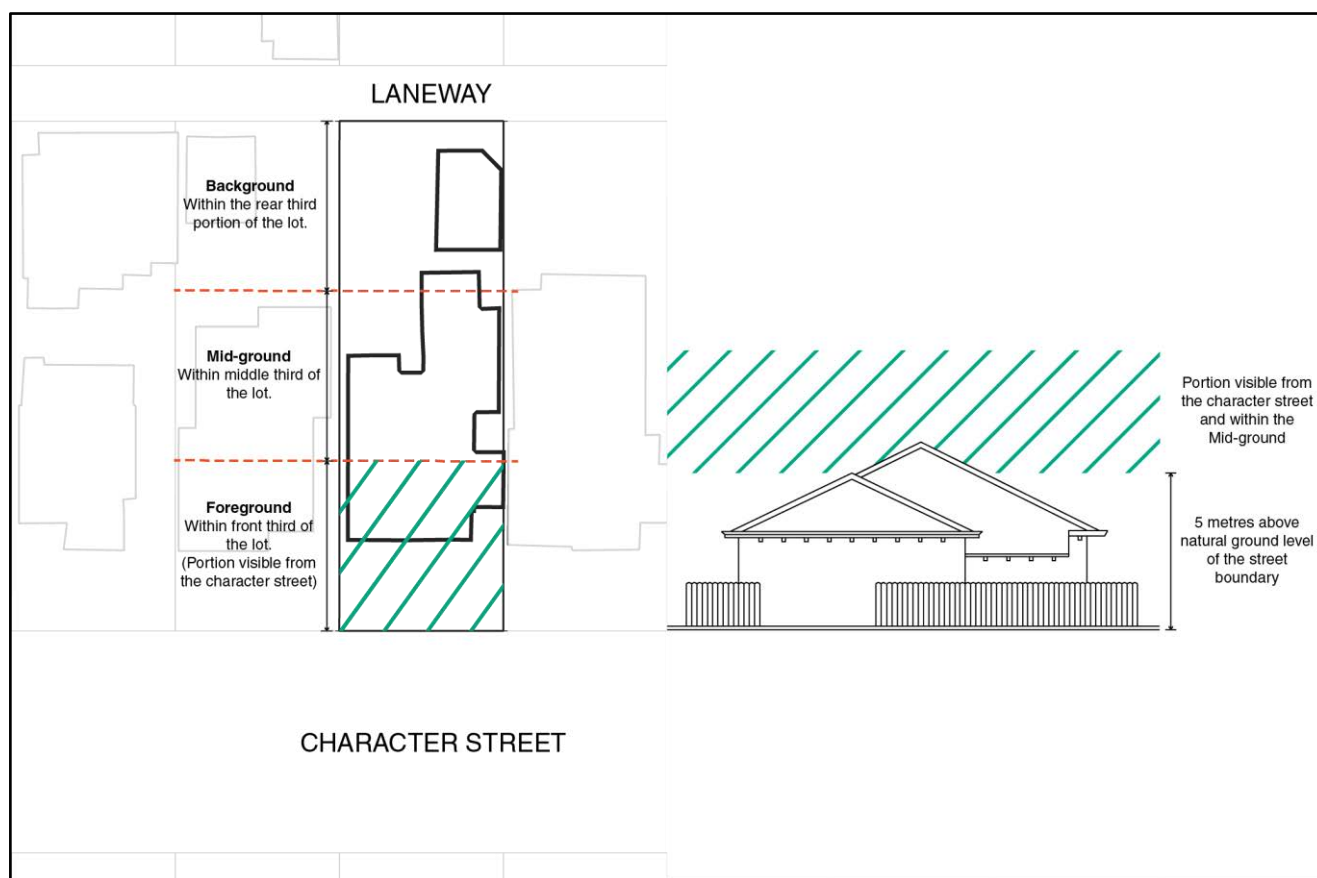


Figure 7 – Diagram of Visibility and Sections fronting Character Streets

*Note: Where a property abuts two **character streets** the same principles apply to both **character streets***

4.1. DEVELOPMENT WITHIN THE FOREGROUND AREA

This section applies to development within the foreground (refer to **Figure 7**). This includes conservation of and additions to, traditional and non-traditional dwellings and new buildings.

Objectives

- *Retain traditional dwellings with minimal alterations visible from the Character Street*
- *Ensure conservation works retain and enhance the original character of the traditional dwelling;*
- *Development is to be designed to ensure the original traditional dwelling remains the prominent element in the Character Streetscape;*

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- *Additions to traditional dwellings must reflect the heritage character of the area and the style of traditional dwelling to which they belong;*
- *Ensure alterations and additions to existing non-traditional dwellings respect the traditional character of the area;*
- *Ensure alterations and additions to existing non-traditional dwellings support environmentally sustainable design which respects the traditional character of the area.;*
- *Ensure that design of new buildings respects the style, and character of the surrounding **Locality** and fit into the streetscape;*
- *Ensure the scale and form of new buildings respects that of surrounding traditional dwellings and the street pattern;*
- *Retain the articulation between the ground and upper floor of two storey-built form as viewed from the **Character Street**; and*
- *Ensure existing levels on site are retained as far as practical to maintain the existing natural progression of the land.*

4.1.1 STREET SETBACKS

This section augments the requirements of Clause 5.1.2 *Street Setback* of the *Residential Design Codes*.

For requirements for Carports and Garages refer to Section 4.4.

- No additions and/or alterations to the traditional dwellings shall occur forward of the traditional dwelling, unless restoring an original feature in the original architectural style (e.g.; a verandahs);
- Any single storey additions are to be setback a minimum of 2 metres back from the Predominant Building Line of the traditional dwelling;
- The ground floor of new buildings shall follow the established street setback, for both primary and secondary streets irrespective of the relevant Residential Design Code Clause 5.1.2 Street Setback (refer **Figure 8**);
- Where the street pattern varies, the building setback average of the adjacent properties fronting the same street will be used to determine the setback;
- Second storey additions to traditional dwellings are to be located behind the ridgeline of the traditional dwelling; and
- Second storeys to new dwellings are to be setback a minimum of 4 metres from the **Predominant Building Line**.

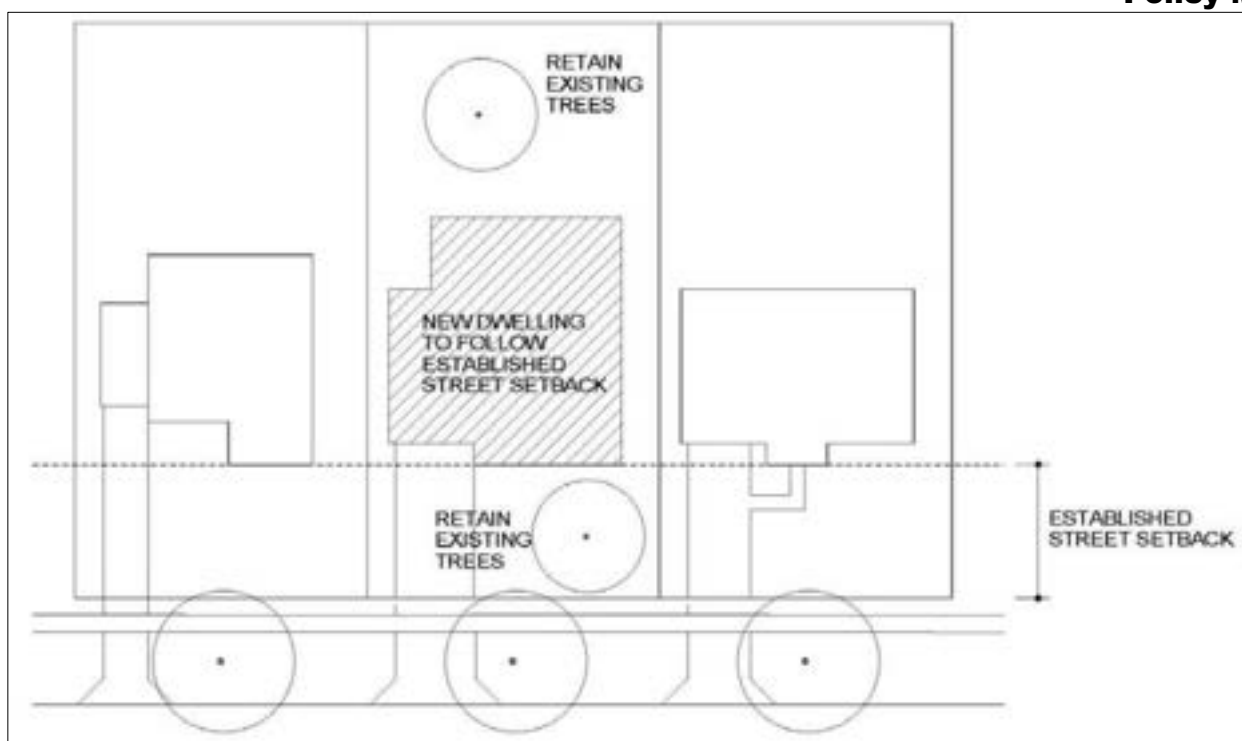


Figure 8 - Streetscape

4.1.2 LEVELS

This section augments the requirements of 5.3.7 *Site Works* of the *Residential Design Codes*.

- a) The natural ground level of the site are to be retained; and
- b) Any required retaining is to comprise brick-up or similar retaining under the building.

4.1.3 DESIGN

- a) Additions to traditional dwellings are to reflect the architectural style, form, colour and materials of the dwelling;
- b) Additions to traditional dwellings are to be designed to ensure the original part of the building remains the prominent element in the Character Streetscape;
- c) New buildings are to be traditional in design and reflect the heritage style and scale of traditional dwellings within the streetscape (refer *Part 2 – Residential Character Analysis* of these guidelines); and
- d) The visual bulk of two storey buildings should be minimised through articulation of larger wall lengths, and the stepping back of upper storey walls from the front and side boundaries (Refer **Figure 9**).

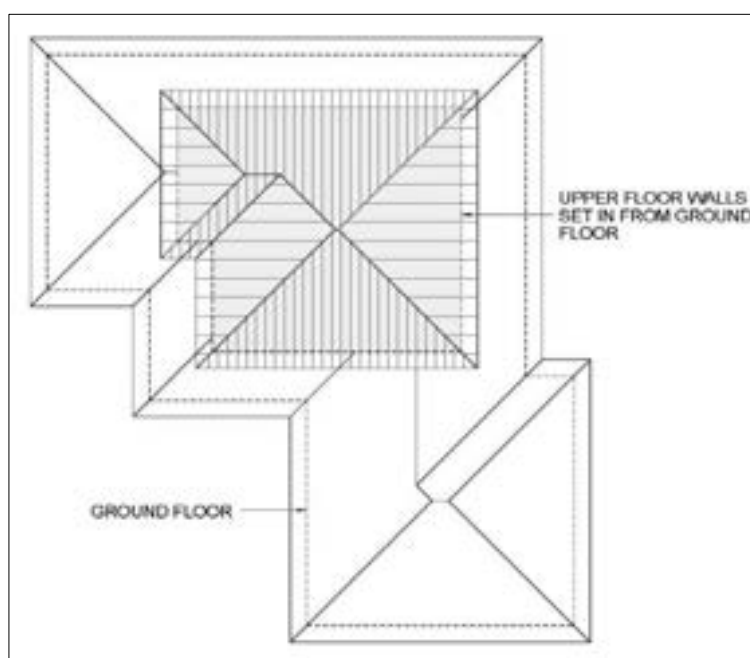


Figure 9 - Upper Storey setbacks

4.1.4 BUILDING HEIGHT

This section augments the requirements of 5.1.6 Building Height of the Residential Design Codes.

- a) The wall heights of single-storey additions are to match the traditional dwelling; and
- b) The ridge and wall heights of second-storey additions and new buildings are to be in accordance with the City's Residential Building Heights Policy. Consideration may be given to nominal height increases, but only where such increases facilitate traditional ceiling/plate heights.

4.1.5 ROOF PITCH

- a) New roofing for additions are to match the roof pitch of the original traditional dwelling;
- b) Roof pitches for new dwellings are to be a minimum of 25 degrees, to a maximum of 35 degrees;
- c) Verandahs to new dwellings may have a lower pitch where this reflects the existing style in the streetscape;
- d) Roofs to new dwellings may be hipped or gabled. Gables shall have traditional timber detailing such as battens, and treatment as per *Part 2: Residential Character Analysis*; and
- e) Barrel vault, curvilinear and low skillion roofs are not permitted.

4.1.6 EAVES

- a) Eaves are to overhang by a minimum of 300mm;

- b) The eaves line of the addition shall not be lower than the eaves line of the traditional dwelling; and
- c) Eaves shall not be boxed and shall have exposed rafters, except where boxed eaves are a feature of the architectural style of the traditional dwelling – for example ‘Austerity Cottage’.

4.1.7 VERANDAHS

- a) Where a verandah is being re-instated, the verandahs form, scale and features (e.g. posts) should be consistent with the architectural style of the traditional dwelling (refer *Part 2 - Residential Character Analysis* of these Guidelines);
- b) Verandahs to new dwellings fronting the **Character Street** are to be a minimum of one-third the width of front elevation; and
- c) Verandahs to new dwellings are to have a minimum depth of 2 metres.

4.1.8 OPENINGS

- a) Windows are to have a vertical emphasis. That is, the height of the windowpane should be visibly greater than its width (refer **Figure 10**);
- b) Window frames are to be constructed in timber (preferred) or wide-profile aluminium or steel where visible from the street;
- c) Windows to the front facades of a second storey addition are to reflect the configuration and grouping of the traditional dwelling windows facing the street;
- d) Window frames in non-masonry walls are to be recessed;
- e) Window frame colours are to be white or cream. Other colours may be considered acceptable where evidence is provided demonstrating the proposed colour scheme is reflective of the existing traditional dwelling or the original colour palette; and
- f) Dormer windows are not permitted.



Figure 10 – Window Design

4.1.9 MATERIALS & DETAILS

- a) The original materials of the traditional dwelling are to be conserved as far as practically possible;
- b) Where original materials of the traditional dwelling have previously been removed, restoration to original is required;
- c) Restoration of the traditional dwelling shall be based on original drawings and photographs where possible;
- d) Where replacement of materials of the traditional dwelling such as the roof and joinery are necessary, they are to be replaced with materials to match the existing;
- e) New walls and roofing to additions are to match the colours and materials of the traditional dwelling;
- f) For new buildings, traditional materials of face brick and / or render are to be used for the solid wall surface of the façade. The proportions and detailing of these should reflect the traditional dwellings in the streetscape (refer *Part 2 – Residential Character Analysis* of these guidelines);
- g) Bricks used for new buildings are to be in the red colour range and not be scorched or feature colour blends. Recycled or handmade bricks are preferred. Mortar shall be in traditional colours (typically white or cream);
- h) Render used for new buildings are to be in a traditional finish and colour (typically white or cream) and proportions, and consistent with the traditional dwellings in the streetscape;
- i) Where limestone is used, it is to be located at the base of the building and are not to exceed more than 20% of the solid wall surface of the façade (limestone in this instance refers to the use of stone or limestone cladding – limestone coloured bricks are not permitted);

- j) Roof cover may be constructed with tiles in red or terracotta hues or corrugated iron or pre-finished roof sheeting in zincalume; and
- k) Balustrades, verandah posts and the like, are to be constructed in timber or painted metal. Brick or rendered brick verandah posts and balustrading may be appropriate in some instances where it meets the objectives of these guidelines.

4.2 DEVELOPMENT WITHIN THE MID-GROUND AREA

The requirements of section 4.1- *Development within the Foreground* apply to the façade of development facing the **Character Street** for additions to a traditional dwelling and new buildings within the mid-ground which are 5 metres or greater above natural ground level (refer to **Figure 7**).

For all other development within the midground, the requirements of 4.3 *Development – within the Background or fronting non-Character Streets* apply.

4.3 DEVELOPMENT WITHIN THE BACKGROUND AND/OR FRONTING NON-CHARACTER STREETS

This section applies to additions to a traditional dwelling within the 'Background' area of a lot (refer to **Figure 7**). These provisions are also applicable to infill development, dwellings and associated structures constructed fronting a non-**Character Street** (for example, laneways or Rights of Way). Development within these areas should respect and harmonise with traditional dwellings within the **Locality** (refer to **Figure 2**) but do not have to mimic the design of the buildings.

Objectives

- *Developments are to be designed to ensure the original traditional dwelling remains the prominent element in the Character Streetscape.*
- *Additions to traditional dwellings must respect the heritage character of the area and the style of traditional dwellings within the **Locality**.*
- *Support environmentally sustainable design which respects the traditional character of the area.*
- *Ensure that design of new buildings respect the style, and character of the surrounding **Locality** and fit into the streetscape.*
- *Ensure the scale and form of new buildings respects that of surrounding traditional dwellings.*
- *Retain the appearance of a single storey-built form as viewed from the **Character Street** front and reduce the impacts of two storey development on the Character Streetscape.*
- *Ensure existing levels on site are retained as far as practical to maintain the existing natural progression of the land.*

4.3.1 SETBACKS

This section augments the requirements of 5.1.2 *Street Setback* and 5.1.3 *Lot Boundary Setback* of the *Residential Design Codes*.

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- a) Street setbacks for new dwellings fronting onto non-**Character Streets** are as per the Residential Design Codes and the City's Local Planning Policy for Development Abutting Rights of Way.
- b) The setback of new development above plate height of the existing dwelling situated on the same **Original Traditional Lot** should correspond with the predominant side setback of the traditional dwelling.

Note: The intent of clause b) is to ensure that new development is located behind the traditional dwelling, and that the traditional dwelling is the dominant feature in the streetscape.

4.3.2 LEVELS

This section augments the requirements of 5.3.7 *Site Works* of the *Residential Design Codes*.

- a) The natural ground level of the site is to be retained.

4.3.3 ORIENTATION

- a) A maximum of one dwelling is to directly front the **Original Traditional Lot** frontage. New dwellings are to be oriented to front a laneway or Right of Way where possible or be located one behind another, rather than side by side (refer **Figure 11**).

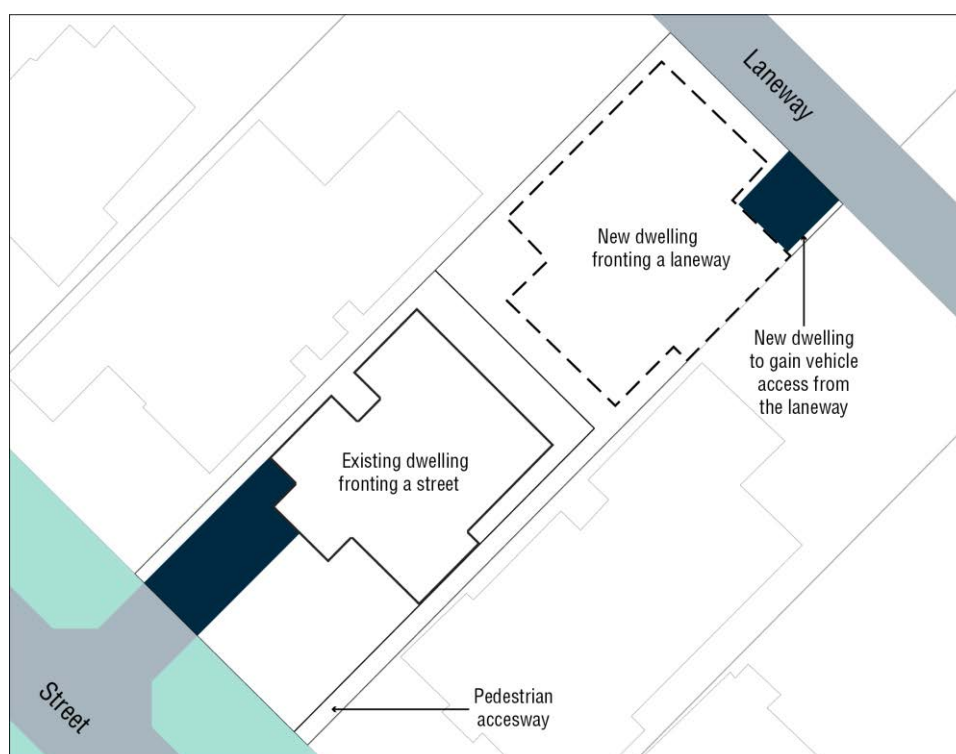


Figure 11 – Example of Infill Development

4.3.4 BUILT FORM AND DESIGN

This section augments the requirements of 5.1.3 *Lot Boundary Setback* of the *Residential Design Codes*.

Applications for development approval the applicant will need to demonstrate that the design achieves the design elements below.

- a) New development is to respond appropriately to the surrounding **locality** through consistent scale and bulk; and
- b) Built form is to reference and respect (without the requirement to mimic) 3 out of the 4 below built form elements of traditional dwellings within the **Locality** (refer to **Figure 2**).
 - Traditional roof form;
 - Traditional building materials;
 - Traditional colours; or
 - Traditional window design.

Note: Where a traditional dwelling has been significantly altered from its original condition it cannot be used to justify the design criteria above, at the City's discretion.

4.4 CARPORTS AND GARAGES

Objectives

- To prevent carports, garages, and parking areas from visually dominating the streetscape;
- To ensure where carports and garages are proposed, they are to be designed to ensure the traditional dwelling remains the prominent element in the Character Streetscape;
- To ensure the appearance of carports, garages and parking areas are in keeping with, and respectful to, the dwellings to which they belong; and
- To reduce the impact of vehicle access and parking on the existing streetscape.

4.4.1 LOCATION

This section augments the requirements of 5.2.1 *Setback of garages and carports* of the *Residential Design Codes*.

- Garages shall be located to the rear or side of dwellings, setback (a minimum of 0.5m) behind the **Predominant Building Line**;
- Garages shall not be located in the front setback area of the character street; and
- Carports fronting a **Character Street** may be considered within the front setback area to a minimum setback of 1.5 metres from the street boundary line where they occupy less than one-third of the lot frontage. Such carports shall not be fitted with any style of roller or tilt-up panel door.

4.4.2 DESIGN

- Carports and garages are to be of the same style, design, materials and roof pitch (to a minimum of 25 degrees) and form to the traditional dwelling to which it belongs;
- The design provisions of *Part 4 "Residential Development"* of these guidelines shall apply to new carports and garages fronting non-**Character Streets**; and
- Notwithstanding (a) flat roofed carports may be considered appropriate where they are open in style and allow an unobstructed view of the traditional dwelling from the street.

4.4.3 CROSSOVERS

- A maximum of one crossover per lot per street frontage are permitted; and
- Crossovers are restricted to a maximum of one-third the width of the front boundary.

4.5 FENCES AND GARDENS

Objectives

- To ensure that front fences, and gardens fit in with the streetscape;

- To retain and maintain open front gardens; and
- To ensure the retention and conservation of existing traditional fences;
- To ensure new fencing forward of the building alignment are of a design, material and colour that is complementary to the style and character of the area.

4.5.1 FENCING CHARACTERISTICS AND DESIGN STANDARDS

For fencing characteristics in the Inglewood Heritage Protection Area refer to *Part 2 Residential Character Analysis – Inglewood Heritage Protection Area – Inglewood Streetscapes*.

Fencing is to comply with the following provisions:

- Fencing is to be compatible with the style and character of the dwelling in terms of design and detail;
- Solid fences or screen walls along the front lot boundary shall not exceed 750mm in height and are to be constructed of a high-quality material such as masonry;
- The height of any open-style fencing may be increased to a maximum of 1.8m above natural ground level, but only where the fencing is constructed in high quality materials, such as wrought-iron infill (rather than timber picket infill) (refer **Figure 12**); and
- Alternative forms of fencing (such as colorbond and timber lap) forward of the dwelling are permitted on the side boundaries only to a maximum height of 1.2m. The colour of the fence is to be in strict accord with the traditional dwelling and streetscape to which it belongs.

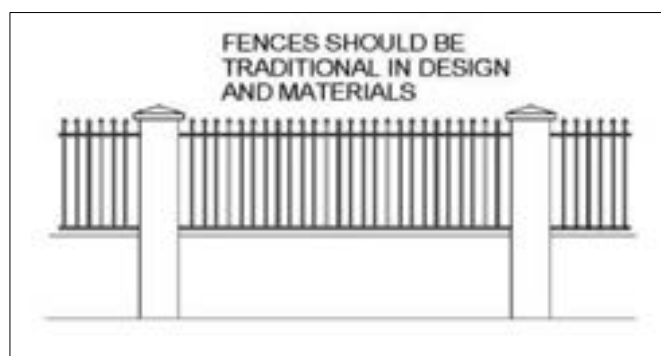


Figure 12 – Example of Open-Style Fencing

4.5.2 GARDEN DESIGN

- Existing front gardens, mature trees, and street trees shall be retained and maintained;
- Where trees are to be removed, the applicant shall demonstrate justification for removal, and satisfy the City that alternative measures such as pruning are impractical; and
- Where mature trees are to be removed, planting and maintenance of replacements are to be planted elsewhere on the site.

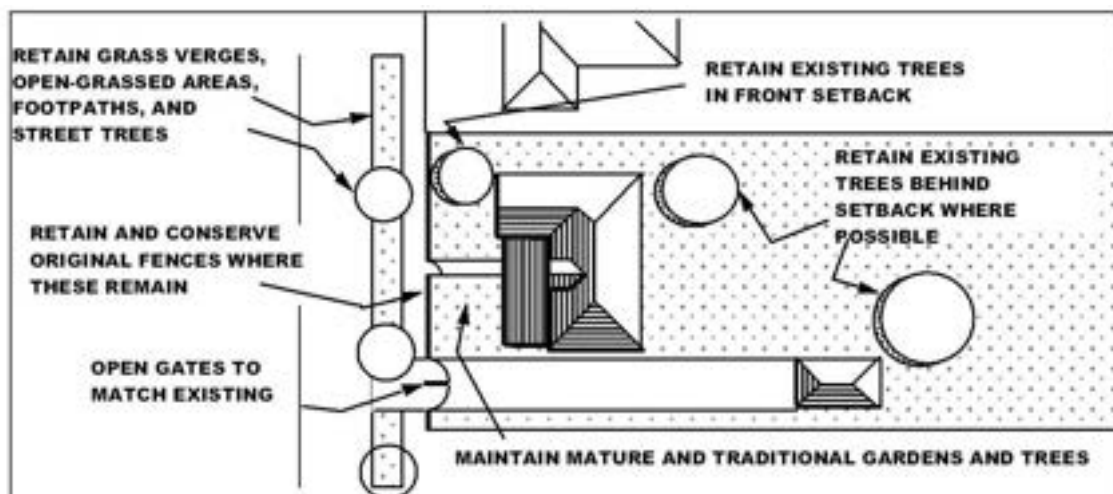


Figure 13 – Example of Traditional Garden Design

4.6 INCIDENTAL DEVELOPMENT

Objectives

- Encourage sustainable design while minimising amenity impacts on the character streetscapes.

4.6.1 SOLAR PANELS

Solar panels are exempt from requiring development approval in the following instances:

- a) the solar collector is not visible from the character street; or
- b) if the solar collector is located on the main frontal roof plane fronting a character street where it is fitted flush to the roof; is not raised on a frame and does not project beyond the edge of the roof.

PART 5 - COMMERCIAL CHARACTER ANALYSIS

5.1 TWO STORY COMMERCIAL

There are a number of prominent early two storey commercial or mixed-use developments within the Inglewood Heritage Protection Areas. Whilst representing a variety of architectural styles, these sites are generally consistent in being key landmarks for the area located along the main commercial spine of Beaufort Street, and generally with more distinctive detailing than their modest single storey counter-parts.

The majority of the early two storey commercial buildings are located at the southern end of Beaufort Street, close to Walcott Street, as this was the earliest commercial strip to develop in the **Locality**, encouraged by the construction of the tramline from the Barrack Street jetty to Walcott Street, completed in 1902. They reflect two key periods of commercial development in the **Locality** – 1905 to 1914 and 1935 to 1940.

Key sites include:

- Civic Theatre (fmr) (1936), at the corner of Beaufort Street and Dundas Road, Inglewood.

Additionally, there are two early two-storey hotels located within the Heritage Protection Areas – both on Beaufort Street:

- The Civic Hotel (1940), at the corner of Wood Street, Inglewood.

5.2 SINGLE STOREY SHOP

Early single storey shops, dating from the late nineteenth and early twentieth century, are predominantly located along the main commercial strip of Beaufort Street Inglewood Heritage Protection Area.

Beaufort Street was the main thoroughfare to the rapidly developing residential areas of Mt Lawley and later Inglewood. Commercial development spread northward along the street, encouraged by the construction of the tramline from the Barrack Street jetty to Walcott Street, completed in 1902.

Single storey shops of this era are generally consistent in their style, being modest single storey buildings with simple detail to parapet walls, and awnings over the footpath.

Common features include:

- Single storey;
- Often in small groups of two to four shops built at the same time;
- Recessed entry door, usually centrally located;
- Rendered brick parapet wall to street facades generally with vertical piers separating each individual shop and simple articulation;

- Flat awning projecting over the footpath;
- Large windows;
- Corrugated metal roof hidden behind parapet.

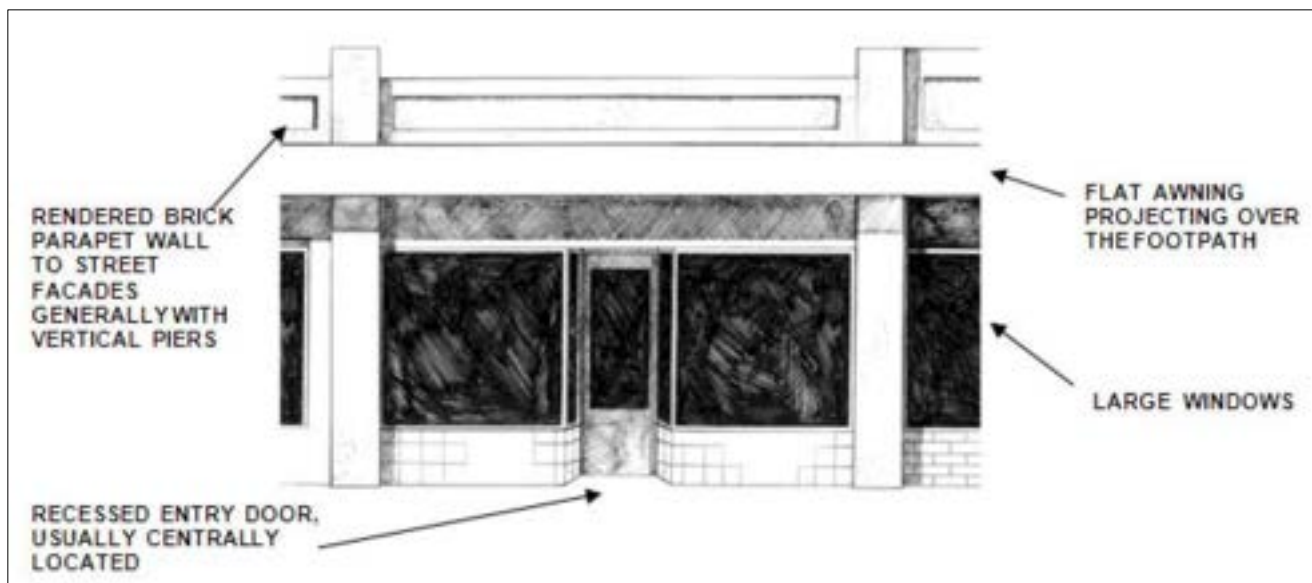


Figure 14 – Single Storey Shop

5.3 THE CORNER STORE

Corner stores, strategically located within the heart of a community, have traditionally catered for the necessities of life – a loaf of bread, the newspaper, perhaps a few purchases – as well as being an important meeting place for the local community.

Historic corner stores dating from the late nineteenth and early twentieth century are scattered throughout the Inglewood Heritage Protection Area, though the majority are located along Beaufort Street. They form an important part of the built heritage and contribute to the distinctive feel of a street, providing familiar landmarks and a sense of the past. The physical features, and particularly the external appearance, of many have changed very little since they first opened their doors.

Corner stores of this era are generally consistent in their style, being modest single storey buildings with corner truncations and simple detail to parapet walls.

Common features include:

- Single storey;
- Corner truncation with entry door;
- Parapet wall to street facades, sometimes stepping down away from the corner, with vertical piers and simple articulation;
- Rendered brick facades;
- Flat awning projecting over the footpath;
- Large windows (some have in more recent times been bricked in);
- Corrugated metal roof hidden behind parapet.

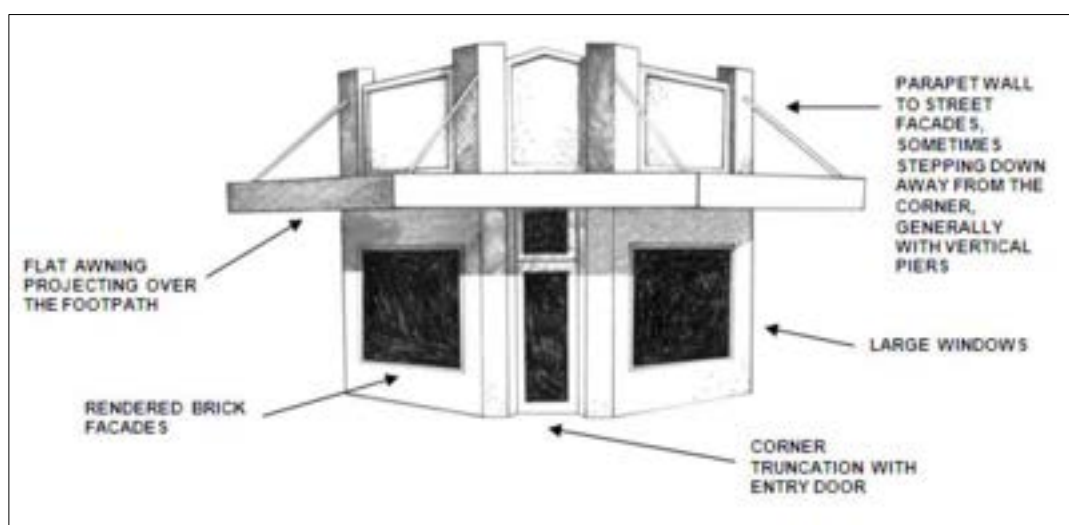


Figure 15 – Corner Shop

PART 6 - COMMERCIAL DEVELOPMENT PROVISIONS

This part of the guidelines only applies to those sites that allow mixed use and non-residential development outside of the area covered by the Beaufort Street local Development Plan.

6.1 COMMERCIAL AND MIXED - USE DEVELOPMENT

Objectives

- Ensure the conservation and retention of traditional buildings, particularly traditional shops, and commercial buildings, including those described in Part 5;
- Ensure new commercial and mixed-use development is consistent with 'main street', mixed-use design principles, and consistent with the heritage character of the **Locality**; and
- Ensure refurbishment of more recent development in a manner in keeping with traditional commercial buildings.

6.1.1 STREETSCAPE

Ground Floor Setbacks

- a) Additions to traditional buildings, and new commercial and mixed-use buildings shall have nil front setbacks to any street frontage (Note: some properties may be subject to regional road widening).
- b) Where a site has frontage to a primary and secondary street, a minor setback will be considered for alfresco dining on the secondary street. Such setback areas shall be designed to match the existing footpath in terms of levels and paving treatment; and
- c) Continuous awnings or verandahs of traditional scale, form and design shall be provided over the street, and be functional to provide appropriate weather protection.

Upper Floor Setbacks

- a) Upper floor additions to traditional buildings shall be setback a minimum of 3 metres from the **Predominant Building Line** of the original building's street facade;
- b) Nil setbacks for upper floors of new commercial and mixed-use buildings may be considered subject to compliance with the objectives of this section provided these floors are no higher than three storeys.

Orientation

- New buildings shall address the street;
- Main entrances to buildings shall face the street, and in the case of corner sites shall face the corner, and shall be maintained in operation; and
- On-site car parking shall be located to the rear of buildings.

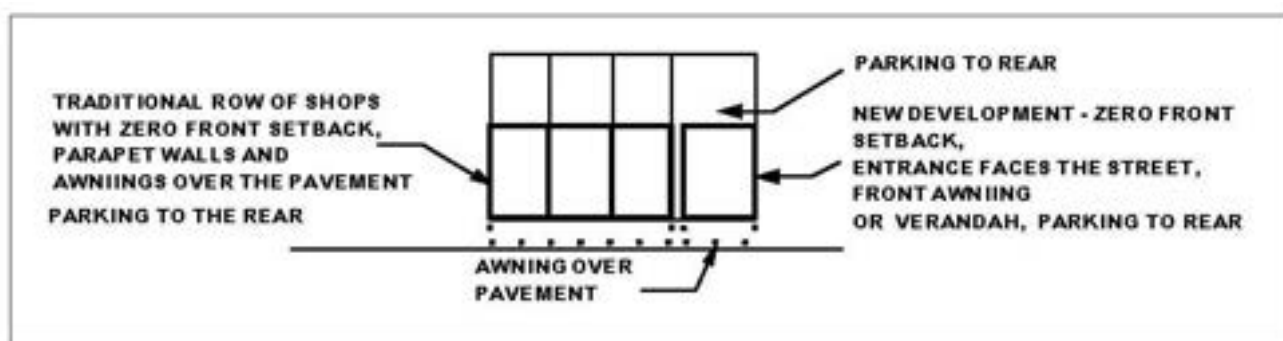


Figure 16 – Example of Traditional Commercial Layout

6.1.2 TRADITIONAL DWELLINGS USED FOR NON-RESIDENTIAL USES

- Traditional dwellings used for non-residential purposes shall maintain a residential-style appearance, with parking areas located to the rear of buildings and signage integrated into the design of the building;
- No additions to the traditional dwelling shall occur within the front setback area, unless restoring an original feature in the original architectural style (e.g., a verandah);
- The provisions of *Part 4 "Residential Development Provisions"* of these guidelines shall apply to any works proposed to the traditional dwelling.

6.1.3 BUILT FORM & DESIGN

- New commercial and mixed-use buildings shall be of traditional style and reflect the design, colours, and materials of traditional buildings within the streetscape;
- New commercial and mixed-use buildings shall have similar facade treatments and architectural detailing / articulation as traditional buildings;
- New commercial and mixed-use buildings shall have similar sill and awning heights to traditional buildings;
- Window frames shall be constructed in timber (preferred) or wide-profile metal. Shop fronts shall reflect traditional shop fronts with timber or metal framing; and
- Refer to the City's Beaufort Street Local Development Plan for additional requirements, particularly:

- Mount Lawley mixed use precinct for heights;
- Mixed use standards;
- General standards;
- Architectural styles; and
- Frontage styles.



Figure 17 – Example of New and Existing Development

6.1.4 SIGNAGE

- a) Signage shall not cover any architectural features or detailing of a building and should not dominate the shopfront or building frontage. Signage is to be positioned and designed to fit within spaces created by architectural elements on the building in particular the awnings and pediments;
- b) Multi-tenancy developments should provide a coordinated signage strategy as part of the development application; and
- c) Signage within the Inglewood Heritage Protection Areas and the area of the Beaufort Street Local Development Plan:
 - is subject to the signage provisions of Local Planning Scheme No. 3; and
 - The signage provisions of the City's Advertising Signs Local Planning Policy.

PART 7 - DEVELOPMENT ON RESERVES AND PRIVATE INSTITUTION ZONES

Objectives

- Ensure that any new development does not adversely affect the heritage character and amenity of surrounding properties; and
- Ensure that any new development be of similar scale, form, and bulk of surrounding properties, and is respectful to the heritage character of the **Locality**.

7.1 BUILT FORM AND DESIGN

- a) New buildings shall be respectful to the design, form, and scale of traditional buildings within the streetscape; and
- b) New buildings shall have similar facade treatments/detail as traditional buildings and incorporate architectural detailing that respects the traditional buildings.

7.2 SETBACKS

- a) Where adjoining sites are zoned Residential, new development shall be setback from the street to match the setback of the traditional buildings within the streetscape;
- b) Where adjoining buildings on either side of new development have varying setbacks from the street, new development may incorporate a 'stepped' setback from the street (in order to align with the existing buildings on both sides);
- c) Where adjoining sites are zoned Residential, new development shall be setback from those common boundaries (side and rear) in accordance with the Residential Design Codes; and
- d) Where adjoining sites are zoned non-residential, the side and rear setbacks of new development shall match those of the adjoining lots.

8. VARIATIONS

Variations to these Guidelines will only be considered where the applicant has demonstrated, via a written submission and supporting documentation, that the requested variation complies with the objectives of these Guidelines.

OFFICE USE ONLY:

Local Planning Scheme No.3 – Local Planning Policy History:

Action	Resolution Number	Effective Date
Adopted	0821/044	7 Sep 2021